



City of Apopka Planning Commission Meeting Agenda

May 12, 2015

5:01 PM @ CITY COUNCIL CHAMBERS

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

Election of Chairman

Meeting Procedures Overview - Andrew Hand, Esq. - Shepard, Smith & Cassady P.A.

1 Meeting Procedures Overview - Andrew Hand, Esq. - Shepard, Smith & Cassady.

III. APPROVAL OF MINUTES:

1 Approve minutes of the Planning Commission meeting held April 14, 2015, at 5:01 p.m.

IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Everlasting Covenant Christian Center, Inc. from Residential Low (0-5 du/ac) to Office (0.3 FAR), for property located west of Piedmont Wekiwa Road, north of US 441. (1250 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-071)
2. CHANGE OF ZONING – Everlasting Covenant Christian Center, Inc. from R-1 to Planned Unit Development (PUD-PO/I), for property located west of Piedmont Wekiwa Road, north of US 441. (1250 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-071)

3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Joseph E. and Jeff P. Ball, from Residential Low (0-5 du/ac) to Office (0.3 FAR), for property located west of Piedmont Wekiwa Road, north of US 441. (1166 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-030)
4. CHANGE OF ZONING – Joseph E. and Jeff P. Ball, from R-1 to Planned Unit Development (PUD-PO/I), for property located west of Piedmont Wekiwa Road, north of US 441. (1166 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-030)
5. CHANGE OF ZONING/MASTER PLAN – Avian Pointe – Apopka Clear Lake Investments, LLC – From “City” Planned Unit Development (PUD) (89.47 AC) and “County” A-2 (ZIP) (5.29 AC) to “City” Planned Unit Development (PUD/R-3), for property located east of S.R. 429, south of Peterson Road, and north of Lust Road. (Parcel ID Nos. 07-21-28-0000-00-002 & 07-21-28-0000-00-023)
6. CHANGE OF ZONING/MASTER PLAN & PRELIMINARY DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E. – from R-3 (Residential) and C-1 (Commercial) to Planned Unit Development (R-3/C-1) for property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)
7. CHANGE OF ZONING/SMALL LOT OVERLAY DISTRICT MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – Silver Oaks – owned by Tallman Development Company, c/o Ed Hampden; engineer is Poulos & Bennett, LLC, c/o Marc Stehli, P.E. – From R-3 to R-3/Small Lot Overlay District, for property located north of East Keene Road, west of South Sheeler Avenue (2220 S. Sheeler Road). (Parcel ID Nos. 22-21-28-0000-00-078, 22-21-28-0000-00-079, 22-21-28-0000-00-081, 22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108, 22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117, 22-21-28-0000-00-122)

V. SITE PLANS:

1. MASS GRADING PLAN - Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., for property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)
2. FINAL DEVELOPMENT PLAN/PLAT – Rock Springs Estates, owned by Rock Springs Estates; applicant is Pulte Group, c/o Doug Hoffman, P.E.; engineering firm is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E., located south of West Lester Road, east of Vick Road. (Parcel ID Nos. 3-20-28-0000-00-015, 33-20-28-0000-00-118, 33-20-28-0000-00-003)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Meeting Procedures Overview - Andrew Hand, Esq. - Shepard, Smith & Cassady.

Formal Quasi-Judicial Hearings

- 1.) Introductions. The Chairman shall read the case style and nature of the issue.
- 2.) Affected Party determination.
- 3.) Ex parte. The Board Members shall disclose any ex parte communications that may have occurred. (The petitioner and any affected party may ask questions about these communications directed through the Chairman.)
- 4.) Swearing In. The Petitioner, staff and all witnesses shall be collectively sworn.
- 5.) Staff Presentation. City staff shall present any staff, board, or other report on the matter. These reports and any other documentary evidence shall become a part of the record. Evidence will be presented through oral testimony of witnesses and documentary evidence.
- 6.) Petitioner Presents Its Case. The Petitioner may include a description of the nature of the Petition if there is additional information that has not been previously provided by the City staff. The Petitioner may introduce any documentary evidence and elicit testimony through witnesses.
- 7.) Affected Party for the Petition Any affected person will present their case clearly indicating whether they are in support of the Petition.
- 8.) Affected party against the Petition. Any affected person will present their case clearly indicating whether they are opposed to the Petition.
- 9.) Any rebuttal(s) by staff or Petitioner.
- 11.) Close of presentation by petitioner, staff, and affected parties.
- 12.) Public Hearing.
- 13.) Close of Public Hearing and Deliberation and Vote of the Board.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission meeting held April 14, 2015, at 5:01 p.m.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON APRIL 14, 2015, AT 5:01 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: Steve Hooks, James Greene, Melvin Birdsong, Tony Foster, Robert Ryan, Pamela Toler, and Mallory Walters

ABSENT: Orange County Public Schools (Non-voting)

OTHERS PRESENT: Glenn Irby – City Administrator, Andrew Hand, Esq., R. Jay Davoll, P.E. - Community Development Director/City Engineer, David Moon, AICP - Planning Manager, Carol Matthews, Tom Matthews, Linda Laurendeau, Mark Stroup, Jennifer Wandersleben, Jeong Park, Jody Barry, Dick Davis, John Townsend, Borron Owen, Matt Manning, Suzanne Kidd, Ray Moe, Tony Luke, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Chairperson Hooks called the meeting to order and called for a moment of silent prayer. The Pledge of Allegiance followed.

Chairperson Hooks introduced Tony Foster as a new member of the Planning Commission.

APPROVAL OF MINUTES:

Chairperson Hooks asked if there were any corrections or additions to the minutes of the regular meeting on March 10, 2015, held at 5:01 p.m.

Chairperson Hooks asked for a motion to approve the minutes, with the following corrections, of the Planning Commission meeting held on March 10, 2015, at 5:01 p.m.

Page 6: MOTION: ... Aye votes were cast by Steve Hooks, James Greene, Melvin Birdsong, ~~Ben Dreiling~~, James Greene, Robert Ryan, Pamela Toler, and Mallory Walters (6-0).

Page 8: MOTION: ... Aye votes were cast by Steve Hooks, James Greene, Melvin Birdsong, ~~Ben Dreiling~~, James Greene, Robert Ryan, Pamela Toler, and Mallory Walters (6-0).

Motion: Mallory Walters made a motion to approve the revised Planning Commission minutes from the regular meeting on March 10, 2015, meeting at 5:01. Melvin Birdsong seconded the motion. Aye votes were cast by Steve Hooks, James Greene, Melvin Birdsong, Tony Foster, Robert Ryan, Pamela Toler, and Mallory Walters (7-0).

MORATORIUM – RESTAURANTS OR FOOD SERVICE OPERATIONS WITH DRIVE-THRU OR DRIVE-IN SERVICE – David Moon, AICP, Planning Manager, stated that the City of Apopka will soon embark upon a Community-Wide Visioning Process to identify current and long-term preferences for the development and character of neighborhoods and the Apopka community as a whole. Recent trends in the fast-food service industry utilize dual and stacked service lanes for which current development standards and design guidelines did not anticipate additional needs for land area, their associated on-site land use impacts, or potential nuisances to abutting properties. Inadequate site design of fast-food services restaurants and associated drive-through lanes has led to business practices placing employees, some of whom are teenagers, outdoors standing within service lanes or drive aisles to take customer orders, creating potential public health and safety concerns for the employee. In the course of recent evaluation of development plan applications for fast food restaurants with drive through lanes, staff

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has identified land use impacts incompatible to the size of the business and their potential impacts adjoining and surrounding land uses. Staff has determined that restaurant and/or food service operations devoted to providing food and beverage products to customers in drive through lanes have the potential to negatively impact adjoining land uses due to certain common operational characteristics. The Community-wide Visioning Process may find that residents of some neighborhoods find fast food restaurants with drive a through service incompatible with the residential character of the surrounding area, including traffic impacts and noise levels that may degrade the desired environ of such residential areas.

Per Section 1.08.13, Definitions, of the Land Development Code (LDC), a fast food restaurant means: an establishment whose principal business is the sale of food or beverage in a ready-to-consume state for consumption within the building, within a motor vehicle parked on the premises or off the premises as carry out orders. The principal method of operation includes, but is not limited to, the following characteristics: food or beverages are usually served in paper, plastic or other disposable container; there is generally not waiter or waitress service; food and beverages are served at a counter or window to be consumed elsewhere; drive-through service is often available.

The proposed ordinance is applicable to the entire jurisdictional area of the City. Fast-food restaurants are currently a prohibited use within the Downtown Development District (Sec. 3.03.E.1., LDC,) and restaurants are prohibited in the Neighborhood Commercial (CN) zoning district (Sec. 2.02.11.C, LDC.). Elsewhere, drive-in (drive-through) restaurants within C-1, C-2, and C-3 must be at least 200 feet from residential areas, as measured from the property line.

The proposed ordinance is currently under review by the city attorney's office. Any significant changes will be forwarded to the City Council prior to the hearing date. If changes are considered minor, they will be presented at the hearing.

Recommend approval to establish a Time-Limited Moratorium on the issuance of building permits and/or the receipt of preliminary or final development plan submittals for restaurant or food service operations with drive through lane or drive-in service, such moratorium to extend until January 7, 2016.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Ms. Walters commented that staff stated the dual menu boards need additional space. She said she knows that the McDonald's down the street didn't need additional space. Staff also talks about safety issues. She said she thinks the dual menus mitigate that safety issue but not having one long line. She asked what is next. Dollar stores? These are businesses. The City has a Land Development Code right now that addresses this. It comes before the Commission. We have planning meetings to say yes this meets our code or doesn't. Are we changing the code and land use and? In the whole City of Apopka we have land use and we have zoning where a restaurant cannot build or develop. That's already there so are we changing the code to accommodate something that we don't want more of. She said that she thinks this is restricting commerce that is not as big a problem as has been perceived. That problem is people say we have too many of them but what we have now, she does not feel that there are safety issues. She stated that she hasn't been to any fast food restaurant where there has been somebody standing outside taking orders.

In response to questions by Chairman Hooks, Mr. Moon stated that during the moratorium time frame, staff will review the Land Development Code, prepare changes to present to the Planning Commission

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and they will have the opportunity to make changes or recommendations and then those will be forwarded to City Council as amendments to the Land Development Code and development standards. The City Attorney has completed their review of the ordinance and the revised ordinance was incorporated into the Planning Commission packet. They feel that the City is on good legal footing to proceed with something like this. He stated that Mr. Hand may wish to speak on behalf of the Attorney's office, but their changes were incorporated into the ordinance.

In response to a question by Chairperson Hooks, Mr. Hand stated the City Attorney's office is comfortable with the ordinance.

In response to a question by Ms. Walters, Mr. Moon stated that in the last few weeks, staff has not received any preliminary or final development plans for fast-food restaurants in the City of Apopka.

Chairperson Hooks opened the meeting for public hearing. With no one wishing to speak, Chairperson Hooks closed the public hearing.

Motion: James Greene made a motion to recommend approval of a Time-Limited Moratorium on the issuance of building permits and/or the receipt of preliminary or final development plan submittals for restaurant or food service operations with drive through lane or drive-in service, such moratorium to extend until January 7, 2016. Motion seconded by Pamela Toler. Aye votes were cast by Steve Hooks, James Greene, Melvin Birdsong, and Pamela Toler; Robert Ryan and Mallory Walters voted nay; and Tony Foster abstained from voting. (4-2).

FINAL DEVELOPMENT PLAN – ADVENTIST HEALTH SYSTEM/SUNBELT, INC. – FLORIDA HOSPITAL APOPKA – R. Jay Davoll, P.E., Community Development Director/City Engineer stated this is a request to recommend approval of the Final Development Plan for Adventist Health System/Sunbelt, Inc. DBA Florida Hospital Apopka. The owner is Adventist Health System/Sunbelt, Inc. The applicant is Florida Hospital Apopka, c/o Raymond Moe. The engineer is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E. The property is located south of Harmon Road, west of Ocoee Apopka Road and east of S.R. 429. The future land use is Mixed Use and the zoning designation is Planned Unit Development (PUD/Mixed EC). The existing use is vacant land. The proposed use is a hospital with ancillary uses and medical offices (including a medical helipad. The hospital to be a seven-story, 120-bed, with 80,000 square feet of medical offices. The tract size is 33.7 +/- acres. The proposed density is what is allowed by the PUD Master Plan adopted on November 19, 2004.

The subject property was annexed into the City of Apopka on December 19, 2007, through the adoption of Ordinance No. 2013. Development of the hospital site must occur consistent with the PUD Master Plan and its adopted PUD development standards. The Florida Hospital Final Development Plan is consistent with the PUD Master Plan.

Transportation infrastructure improvements shall occur consistent with the Transportation Infrastructure Agreement. As this Agreement has not yet been signed by the City, and as the optional transportation improvements have not yet been identified, staff is recommending that a building permit not be issued until these matters are resolved. Modification of the Final Development Plan to address any improvements within the Transportation Infrastructure Agreement shall only require review by the Development Review Committee unless any such plan changes are determined by the Community Development Director to be substantial modifications warranting Planning Commission and/or City Council review.

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The proposed Final Development Plan is consistent the Florida Hospital Replacement Campus Master Plan, Land Development Code, Comprehensive Plan and Development Design Guidelines.

Stormwater run-off and drainage will be accommodated by on-site stormwater management system that complies with the City's stormwater drainage standards.

Buffers are provided consistent with the PUD Master Plan Sheets. Landscape buffers along Ocoee Apopka Road, Harmon Road, and SR. 429 are 13, 11, and 15 feet in width, respectively.

Based on the number of new trees planted to replace those removed, a mitigation fee will not apply to this project. The table appearing below denotes the tree inches removed and replaced.

Tree Program: The following is a summary of the tree replacement program:

Total tree inches on-site(*):	11,154
Total number of specimen trees (24" or greater):	9
Total number of specimen trees (24" or greater) retained:	1
Total number of specimen trees (24" or greater removed:	8
Total tree inches removed:	10,018
Total tree inches retained:	1,136
Total tree inches replaced:	6,170
Maximum tree stock formula and calculations:	
$1,468,538.2 - 6,000 = 1,462,538.2 / 1,000 = 1,462.54 \times 3.5 = 5,118.89 + 21 = 5,139.89$	
Total inches post development:	7,306
Site clearing area in square feet:	1,462,538.2
(*) Pine and Camphor trees are not included.	

A total of 884 parking spaces are provided, of which 795 are standards spaces, 57 handicapped spaces, 2 electric car recharge stations, and 10 motorcycle spaces. The main entrance to the site is from Ocoee Apopka Road with a second access from Harmon Road. A delivery-only entrance is also provided along Harmon Road. A future LYNX bus transit shelter and pull-off lane are also planned along Ocoee Apopka Road. Helicopter approach and departure are limited to the flight path lines appearing in the Final Development Plan.

The Final Development Plan includes a master sign plan. Approval of the Final Development Plan includes the master sign plan.

The design of the building exterior meets the intent of the City's Development Design Guidelines and was provided with the PUD Master Plan. The three other sides of the building exterior will be in keeping with the elevation shown and will be applicable to the Small Area Overlay District, as reviewed by staff.

The Development Review Committee recommends approval of the Florida Hospital Replacement Campus Final Development Plan Phase subject to the findings of the staff report and the condition that a building permit will not be issued until the Transportation Improvement Agreement has been signed by the City.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Jennifer Wandersleben, Florida Hospital, stated that she and several experts were available to answer any questions the Commission or public had on their project. The complimented staff and said that they

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worked diligently with Florida Hospital on this project.

Mr. Davoll stated it was a pleasure working with Florida Hospital and their contractors.

In response to a question by Mr. Foster, Ms. Wandersleben stated that the decision to move the hospital from its current location was the accessibility to S.R. 429 and 414 as well as the Wekiva Parkway for better access. She stated that currently approximately 50% of current patients are transported to other Florida Hospitals for services not being provided at the current location. The new hospital will keep patients in Apopka rather than transferring them to other hospitals.

Chairperson Hooks opened the meeting for public hearing. With no one wishing to speak, Chairperson Hooks closed the public hearing.

Motion: Mallory Walters made a motion to recommend approval of the Florida Hospital Replacement Campus Final Development Plan Phase subject to the findings of the staff report and the condition that a building permit will not be issued until the Transportation Improvement Agreement has been signed by the City and subject to the information and findings in the staff report. Melvin Birdsong seconded the motion. Aye votes were cast by Steve Hooks, James Greene, Melvin Birdsong, Tony Foster, Robert Ryan, Pamela Toler, and Mallory Walters (7-0).

OLD BUSINESS:

Planning Commission:

Wekiva [Riverwalk] Shopping Center – Chairperson Hooks commended Mr. Moon on his work getting the new sign for the center. He said the new sign looks great.

Public - None.

NEW BUSINESS:

Planning Commission:

Letter from Mary Pinson – Chairperson Hooks stated that the letter was addressed to the Planning Commission and the City Administrator. Upon review of the letter Ms. Pinson's concerns should be addressed by Code Enforcement and not the Planning Commission.

In response to a question by Chairperson Hooks, Mr. Davoll stated that staff was in agreement.

Resignation – Chairperson Hooks announced that this would be his last meeting as he has submitted his resignation to Mayor Kilsheimer for a number of reasons. He stated that he has been here for a long time and served for over 25 years on this commission or Land Development Review Board and it is time for new blood in the City. He said he wanted to make it clear that he was not asked to resign. It was his decision and he spoke with the Mayor and feels that it is in the best interest of the City that we move in that direction. He thanked the Commissioners that he has worked with for the last few years and those who he has worked with for many years past that who are no longer with us on the Commission and some are not with us at all. He stated that he appreciated Mayor Land and Richard Anderson and the confidence

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they had in him to do this for so long. He said he has enjoyed immensely representing the residents of Apopka. That was what he felt was their responsibility and to the best of his abilities he has done that. He leaves happy to know that he is leaving it in good hands with those of you that remain. He thanked Mr. Davoll and Mr. Moon for the years they have worked together.

Public - None.

ADJOURNMENT: The meeting was adjourned at 5:20 p.m.

James Greene, Vice-Chairperson

R. Jay Davoll, P.E.
Community Development Director

Backup material for agenda item:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Everlasting Covenant Christian Center, Inc. from Residential Low (0-5 du/ac) to Office (0.3 FAR), for property located west of Piedmont Wekiwa Road, north of US 441. (1250 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-071)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	May 12, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Use Map

SUBJECT: EVERLASTING COVENANT CHRISTIAN CENTER, INC. –
COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE
AMENDMENT

PARCEL ID NUMBER: 13-21-28-0000-00-071

Request: COMPREHENSIVE PLAN - SMALL SCALE
FUTURE LAND USE AMENDMENT
FROM: RESIDENTIAL LOW (0-5 DU/AC)
TO: PUD/PO/I (0.30 FAR)
(PROFESSIONAL OFFICE/INSTITUTIONAL)

SUMMARY

OWNER: Everlasting Covenant Christian Center, Inc.

APPLICANT: Telesis Services, LLC, c/o Greg Banta and Scott Banta

LOCATION: West of Piedmont Wekiwa Road, north of U.S. 441, south of East Semoran
Boulevard (1250 Piedmont Wekiwa Road)

EXISTING USE: Church

CURRENT ZONING: R-1

**PROPOSED
DEVELOPMENT:** Church

PROPOSED ZONING: Planned Unit Development (PUD/PO/I) (Note: this Future Land Use Map
amendment request is being processed along with the request to change the
Zoning Map designation)

TRACT SIZE: 2.73 +/- acres
1.67 +/- developable (1.06 +/- submerged)

**MAXIMUM ALLOWABLE
DEVELOPMENT:** EXISTING: 8 Units
PROPOSED: 21,823 Sq. Ft.

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Dir.

Finance Dir.
HR Director
IT Director
Police Chief

Public Ser. Dir.
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 16, 1998, through the adoption of Ordinance No. 1209. The proposed Small-Scale Future Land Use Amendment is being requested by the owner. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Rural Settlement is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 2.73 acres, of which 1.67 acres is developable. The property owner intends to use the site for a church.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City's proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Future Land Use Amendment represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission (5:01 pm)

May 20, 2015- City Council (7:00 pm) - 1st Reading

June 3, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification

May 22, 2015 – Ordinance Heading Ad

May 29, 2015 – ¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment is consistent with the Comprehensive Plan and compatible with the character of the surrounding area and recommends approval of the change in Future Land Use from Residential Low (0-5 du/ac) to Office (0.30 FAR) for the property owned by Everlasting Covenant Christian Center, LLC, subject to adoption of zoning regulations that assure compatibility with residential character of areas to the east and north.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-1	Single-Family Residence
East (City)	Residential Low (0-5 du/ac)	R-1A	Single-Family Residence, Vacant Land, Blue Lake
South (City)	Rural Settlement (0-1 du/5 ac)	R-1	Vacant Land
South (County)	Rural (0-1 du/10 ac)	A-1	Stormwater Pond
West (County)	Rural (0-1 du/10 ac)	A-1	Vacant Land, Lake Page

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with this development of agricultural uses and rural county estate residential. The property lies north of S.R. 441 and west of Piedmont Wekiwa Road.

Wekiva Parkway Interchange Vision Plan Area: No

Wekiva River Protection Area: No

Area of Critical State Concern: No

DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the Core Area of the Joint Planning area.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features present on the subject property.

Analysis of the character of the Property: The Property fronts Piedmont Wekiwa Road. The vegetative communities present are urban; the soils present are Tavares fine sand; approximately 1.06 +/- acres of the property is submerged in Lake Page, and the terrain has a 0-5 percent slope.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Office (0.30 FAR). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (City designation): 8 Unit(s) x 2.659 p/h = 21 persons

PROPOSED (City designation): 0 Unit(s) x 2.659 p/h = 0 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. The subject site has access to Piedmont Wekiwa Road, which is a major collector road.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1568 GPD
3. Projected total demand under proposed designation: 3273 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

2. Projected total demand under existing designation: 3632 GPD
3. Projected total demand under proposed designation: 4365 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 84 GPD/Capita
4. Projected LOS under proposed designation: 44 GPD/Capita
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: Lake Page
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

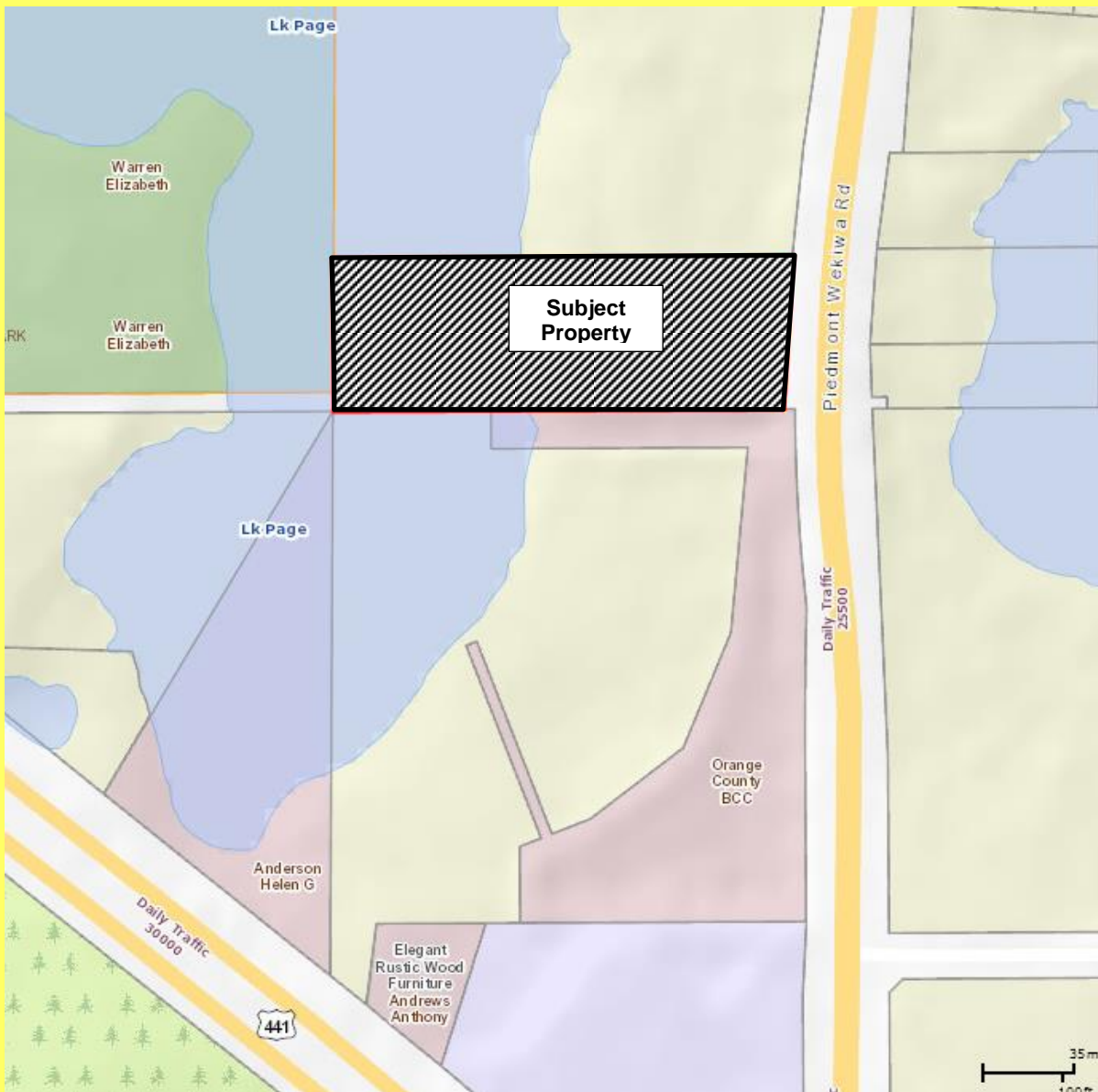
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.063 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Everlasting Covenant Christian Center, Inc.
2.73 +/- Acres
Existing Maximum Allowable Development: 8 dwelling units
Proposed Maximum Allowable Development: 21,823 sq. ft.
Proposed Small Scale Future Land Use Change
From: Residential Low (0-5 du/ac)
To: Office (0.30 FAR)
Proposed Zoning Change
From: R-1
To: Planned Unit Development (PUD/PO/I)
Parcel ID #: 13-21-28-0000-00-071

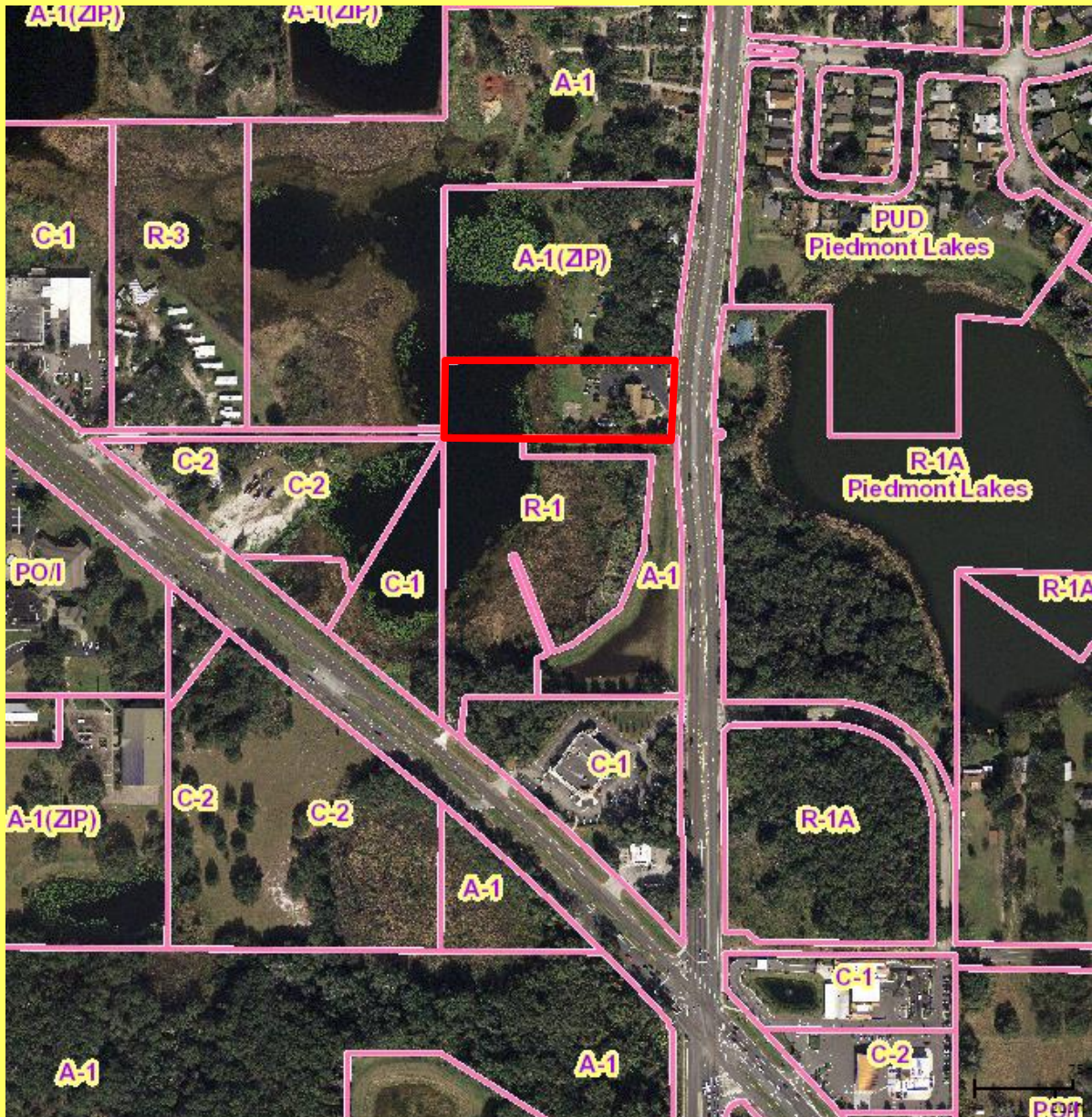
VICINITY MAP



The map displays a section of Apopka, Florida, with various land use zones and property boundaries. A specific property is highlighted with a black hatched rectangle and labeled "Subject Property" with an arrow. The map includes major roads like N Orange Blossom Trl and N Orange Blossom Trl, and landmarks such as Tropicana Mh Park, Warren Elizabeth, and Lake Blue. A scale bar indicates distances up to 200 feet.

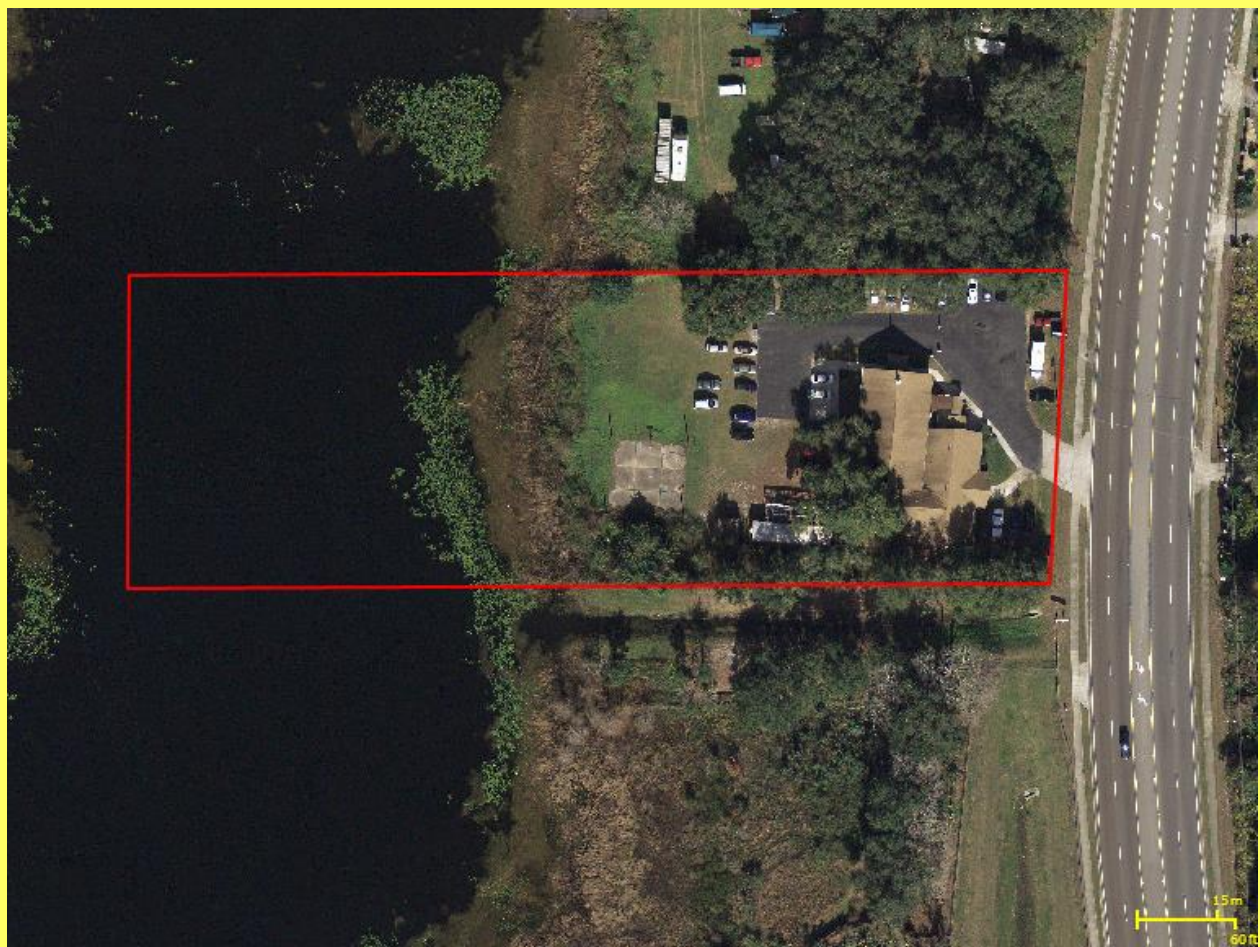


ADJACENT USES





EXISTING USES



Backup material for agenda item:

2. CHANGE OF ZONING – Everlasting Covenant Christian Center, Inc. from R-1 to Planned Unit Development (PUD-PO/I), for property located west of Piedmont Wekiwa Road, north of US 441. (1250 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-071)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: May 12, 2015
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Use Map

SUBJECT: CHANGE OF ZONING - EVERLASTING COVENANT CHRISTIAN CENTER, INC.

PARCEL ID NUMBER: 13-21-28-0000-00-071

Request: CHANGE OF ZONING
FROM: R-1 (RESIDENTIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD/PO/I) (0.30 FAR)

SUMMARY

OWNER: Everlasting Covenant Christian Center, Inc.

APPLICANT: Telesis Services, LLC, c/o Greg Banta and Scott Banta

LOCATION: West of Piedmont Wekiwa Road, north of U.S. 441, south of East Semoran Boulevard (1250 Piedmont Wekiwa Road)

EXISTING USE: Church

FLUM DESIGNATION: Residential Low Density (0 – 5 du/ac); (proposed -- Office)

CURRENT ZONING: R-1

PROPOSED DEVELOPMENT: Church

PROPOSED ZONING: Planned Unit Development (PUD/PO/I) (Note: this Change of Zoning request is being processed along with the request to change the Future Land Use Map designation to Office)

TRACT SIZE: 2.73 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 14 Units
PROPOSED: 21,823 Sq. Ft.

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 16, 1998, through the adoption of Ordinance No. 1209. The proposed change of zoning is being requested by the owner.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be: all such uses permitted within the PO/I (Professional Office/Institutional PO\I (zoning category) except for following PO\I uses shall be prohibited:

1. Hospitals, museums, libraries or cultural institutions;
2. Retail establishments, including those for the sale of pharmaceutical, medical and dental supplies or other hospital-related items;
3. All other uses listed as prohibited within the Professional Office/Institutional zoning district.

A church parsonage will require a special exception approval from the Planning Commission.

B. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Final Development Plan submitted in association with the PUD district.

C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

D. Unless otherwise approved by City Council through an alternative development guideline that is adequate to protect the public health safety and welfare, the following development standards shall apply to the development of the Property and for the master site plan:

Building Design Standards:

1. New development shall have architectural features and materials that are residential in character.
 - a. Any office structure shall have a roof with a 4-to-1 pitch and shall be shingled or tiled.
 - b. Maximum number of stories allowed is two (2). Maximum building height of thirty-five (35) feet.
 - c. Windows shall include fenestration detail and/or shutters.

- d. All ground and rooftop utilities shall be screened from view from any public street or adjacent property.
- e. A main building entrance shall face a public street.

Building Design Guidelines

- 1. Building exterior design uses residential-scale fenestration that may include:
 - i. Windows with multi-pane glazing
 - ii. Dormers or similar architectural features
 - iii. Roof overhang, cornice, eaves, soffits
- 2. Building façades that are modulated into house-sized segments or broken into separate buildings are encouraged.
- 3. A portico or porch is encouraged to define a main building entrance.
- 4. The total area of the first floor of a building shall not exceed 12,000 sq. ft. and the total gross floor area of a building shall not exceed 18,000 sq. ft. The minimum and maximum floor area does not apply to churches.

Site Design Standards:

- 1. The front façade and primary entrance of the building shall be oriented toward the front of the property.
- 2. Minimum front setback of 15 ft. and a maximum of 25 ft.
- 3. Parking lot shall be screened from the public street by a hedge and wrought-iron style fence or a 3-foot decorative stone wall.
- 4. Parking is located at the rear or side of any building.

Signage

- 1. Sign copy on a monument sign shall not exceed 36 sq. ft.
- 2. No sign shall include changeable sign copy or electronic reader board signage.
- 3. An office building shall include wall signage.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City's proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission (5:01 pm)
May 20, 2015- City Council (7:00 pm) - 1st Reading
June 3, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification
May 22, 2015 – Ordinance Heading Ad
May 29, 2015 – ¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in Zoning from R-1 to Planned Unit Development (PUD/PO/I) subject to the PUD developments standards for the property owned by Everlasting Covenant Christian Center, LLC.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	A-1 (ZIP)	Single-Family Residence
East (City)	Residential Low (0-5 du/ac)	R-1A	Single-Family Residence, Vacant Land, Blue Lake
South (City)	Rural Settlement (0-1 du/5 ac)	R-1	Vacant Land
South (County)	Rural (0-1 du/10 ac)	A-1	Stormwater Pond
West (County)	Rural (0-1 du/10 ac)	A-1	Vacant Land, Lake Page

LAND USE & TRAFFIC COMPATIBILITY:

The property has access to a Collector roadway (Piedmont Wekiwa Road). A church is a permissible use within the PO/I zoning category. Future land use designations and zoning categories assigned to properties to the north, south, east, and west is predominantly residential and commercial.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PO/I zoning is compatible with policies set forth in the Comprehensive Plan.

PO/I DISTRICT REQUIREMENTS:

FAR: 0.30 (max.)
 Open Space: 30 percent
 Minimum Site Area: 10,000 sq. ft.
 Minimum Lot Width: 85 ft.
 Setbacks: Front: 25 ft.
 Side: 10 ft.
 Corner: 25 ft.
 Rear: 10 ft.
 Adjacent to Residential: 25 ft.

BUFFERYARD REQUIREMENTS:

Areas adjacent to all road rights-of-way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent residential use shall provide a minimum six (6) foot masonry wall within a ten (10) foot landscaped bufferyard.

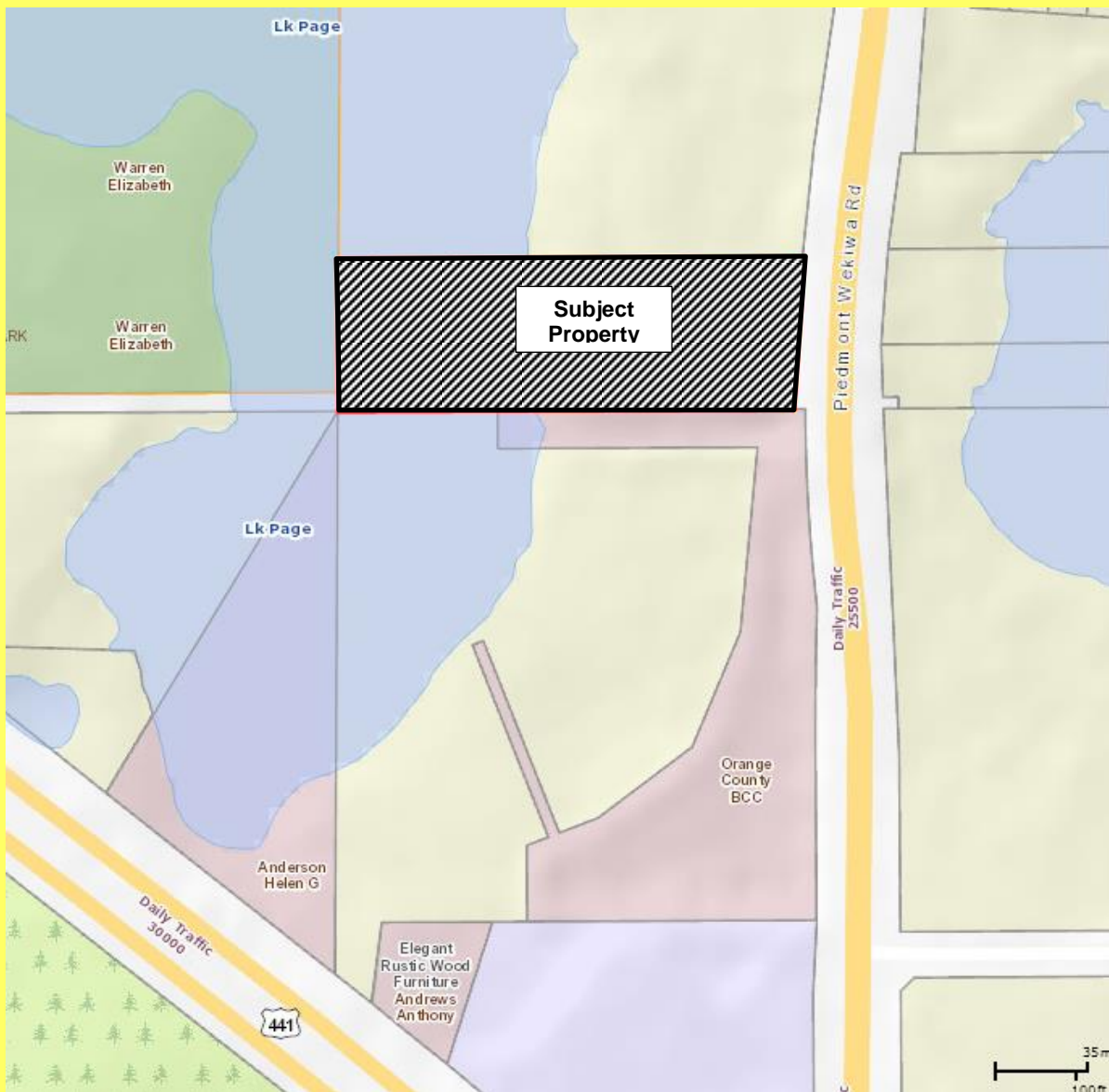
ALLOWABLE USES:

Professional offices, medical or dental clinics and offices, establishments for the retail sale of pharmaceutical, medical and dental supplies, hospitals, museums, libraries, churches and educational facilities.



Everlasting Covenant Christian Center, Inc.
2.73 +/- Acres
Existing Maximum Allowable Development: 14 dwelling units
Proposed Maximum Allowable Development: 21,823 sq. ft.
Proposed Small Scale Future Land Use Change
From: Residential Low (0-5 du/ac)
To: Office (0.30 FAR)
Proposed Zoning Change
From: R-1
To: Planned Unit Development (PUD/PO/I)
Parcel ID #: 13-21-28-0000-00-071

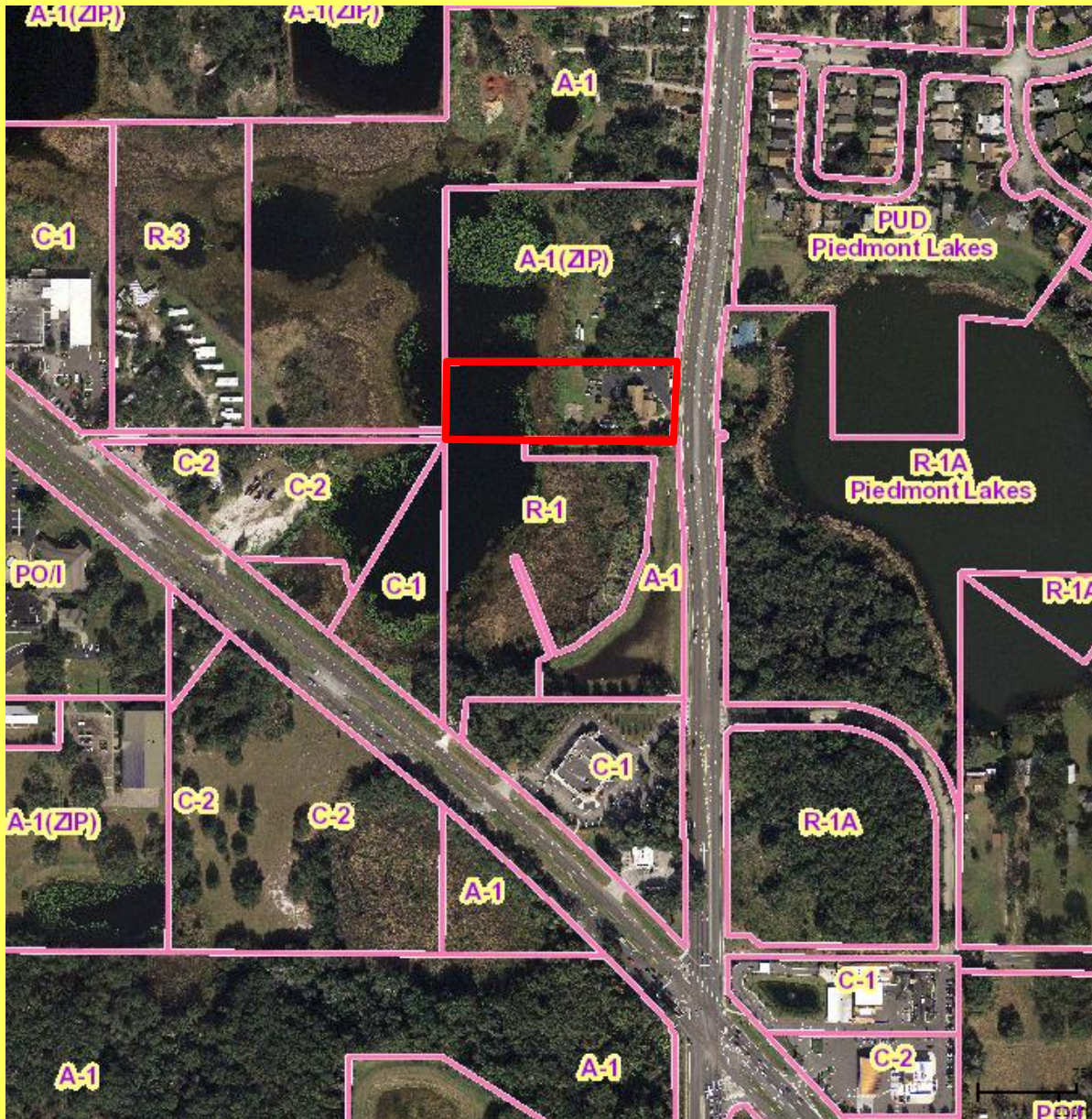
VICINITY MAP



The map displays a section of Apopka, Florida, with various land use zones and property boundaries. A specific property is highlighted with a black hatched rectangle and labeled "Subject Property" with an arrow. The map includes major roads like N Orange Blossom Trl and N Orange Blossom Trl, and landmarks such as Tropicana Mh Park, Shoot Straight Gun Range, and various lakes. A scale bar at the bottom right indicates distances up to 200 feet.

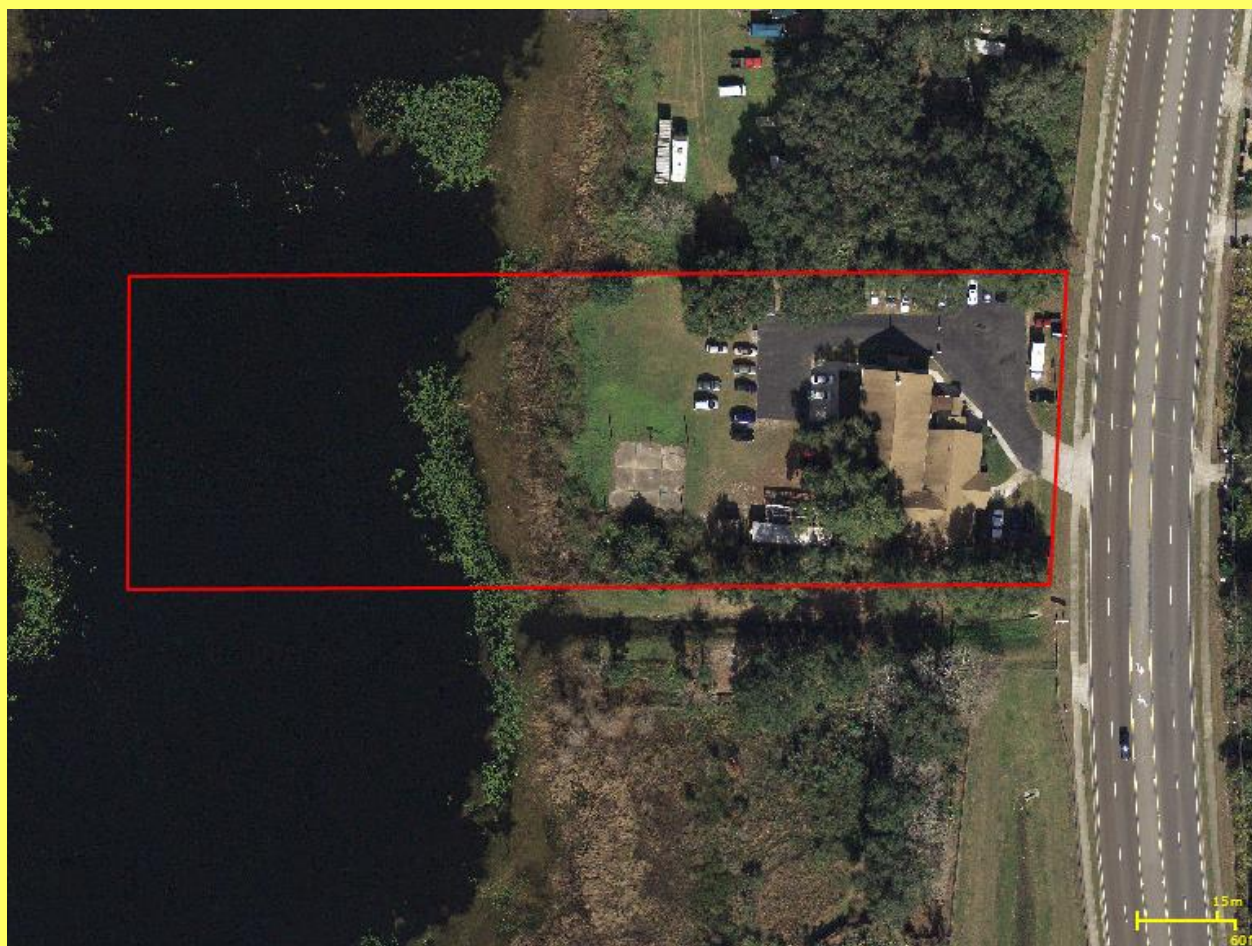


ADJACENT USES





EXISTING USES



Backup material for agenda item:

3. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Joseph E. and Jeff P. Ball, from Residential Low (0-5 du/ac) to Office (0.3 FAR), for property located west of Piedmont Wekiwa Road, north of US 441. (1166 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-030)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	May 12, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Use Map

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT - JOSEPH E. BALL AND JEFF P. BALL**

PARCEL ID NUMBER: **13-21-28-0000-00-030**

Request: **COMPREHENSIVE PLAN - SMALL SCALE
FUTURE LAND USE AMENDMENT
FROM: RESIDENTIAL LOW (0-5 DU/AC)
TO: OFFICE (0.30 FAR)**

SUMMARY

OWNERS: Joseph E. Ball and Jeff P. Ball

APPLICANT: Telesis Services, LLC, c/o Greg Banta and Scott Banta

LOCATION: West of Piedmont Wekiwa Road, north of U.S. 441, south of East Semoran Boulevard (1166 Piedmont Wekiwa Road)

EXISTING USE: Single-family residence

CURRENT ZONING: A-1 (ZIP)

PROPOSED DEVELOPMENT: Professional Office

PROPOSED ZONING: Planned Unit Development (PUD/PO/I) (Note: this Future Land Use Map amendment request is being processed along with the request to change the Zoning Map designation)

TRACT SIZE: 6.49 +/- acres
 3.72 +/- acres developable (2.77 +/- acres submerged)

MAXIMUM ALLOWABLE DEVELOPMENT: **EXISTING:** 19 Units
 PROPOSED: 48,162 Sq. Ft.

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 19, 2007, through the adoption of Ordinance No. 2011. The proposed Small-Scale Future Land Use Amendment is being requested by the owner. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Office is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 6.49 acres, of which 3.72 acres are developable. The property owner intends to use the site for a professional office development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City's proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Future Land Use Amendment represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission (5:01 pm)

May 20, 2015- City Council (7:00 pm) - 1st Reading

June 3, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification

May 22, 2015 – Ordinance Heading Ad

May 29, 2015 – ¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** the proposed amendment is consistent with the Comprehensive Plan and compatible with the character of the surrounding area and recommends approval of the change in Future Land Use from Residential Low (0-5 du/ac) to Office (0.30 FAR) for the property owned by Joseph E. Ball and Jeff P. Ball, subject to adoption of zoning regulations that assure compatibility with residential character of areas to the east and north.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Residential Low (0-5 du/ac)	A-1	Single-Family Residence
East (City)	Residential Low (0-5 du/ac)	PUD & R-1A	Single-Family Residences, Vacant Land, Blue Lake
South (City)	Residential Low (0-5 du/ac)	R-1	Church
West (County)	Rural (0-1 du/10 ac)	A-1	Vacant Land, Lake Page

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with this development of professional office. The property lies north of S.R. 441 and west of Piedmont Wekiwa Road.

Wekiva Parkway Interchange Vision Plan Area: No

Wekiva River Protection Area: No

Area of Critical State Concern: No

DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the Core Area of the Joint Planning area.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basing Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features present on the subject property.

Analysis of the character of the Property: The Property fronts Piedmont Wekiwa Road. The vegetative communities present are urban; the soils present are Tavares fine sand; approximately 2.77 +/- acres of the property are submerged in Lake Page, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.j Office Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Office (0.30 FAR). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (City designation): 19 Unit(s) x 2.659 p/h = 51 persons

PROPOSED (City designation): 0 Unit(s) x 2.659 p/h = 0 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. The subject site has access to Piedmont Wekiwa Road, which is a major collector road.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 3724 GPD
3. Projected total demand under proposed designation: 7224 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 8626 GPD
3. Projected total demand under proposed designation: 9632 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment:
None
8. Parcel located within the reclaimed water service area: No

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 204 GPD/Capita
4. Projected LOS under proposed designation: 96 GPD/Capita
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: Lake Page
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

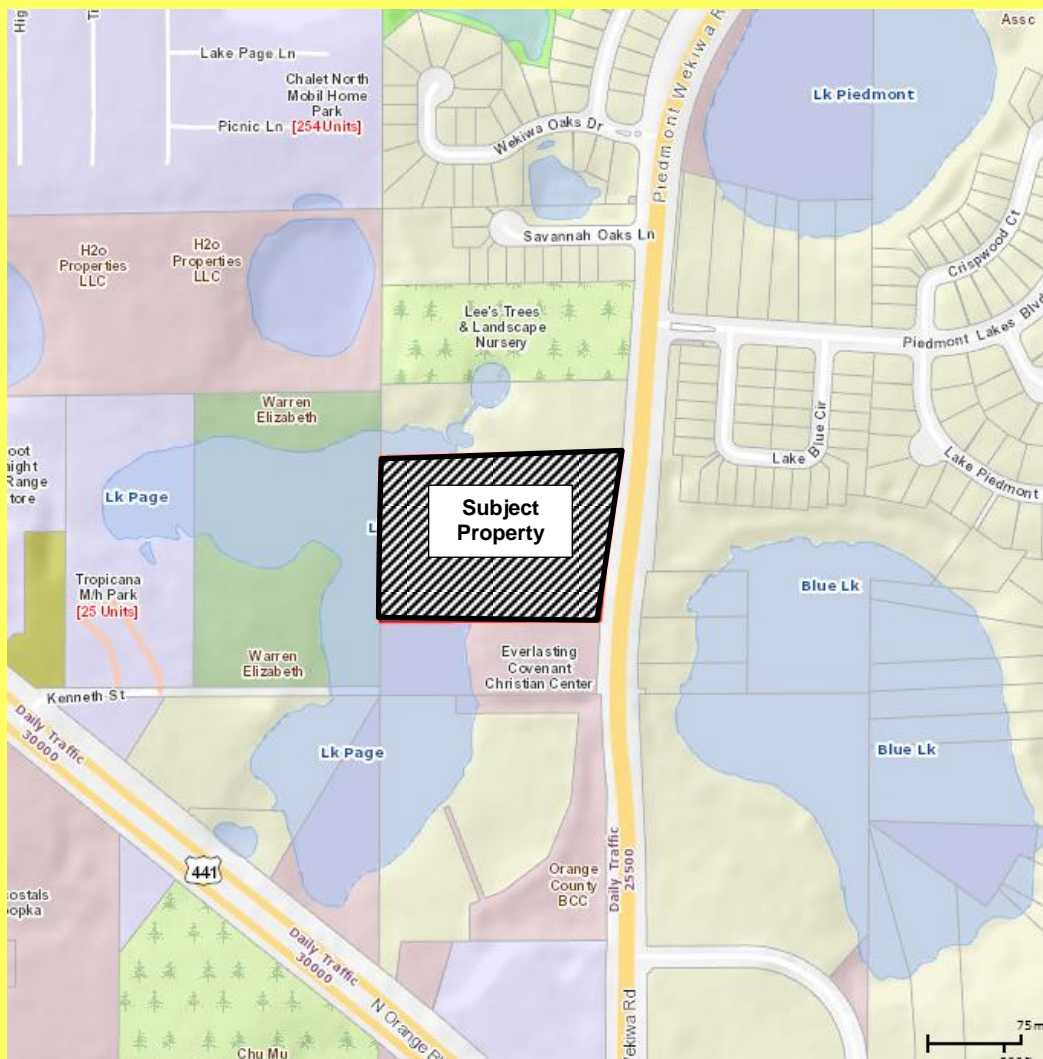
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.153 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



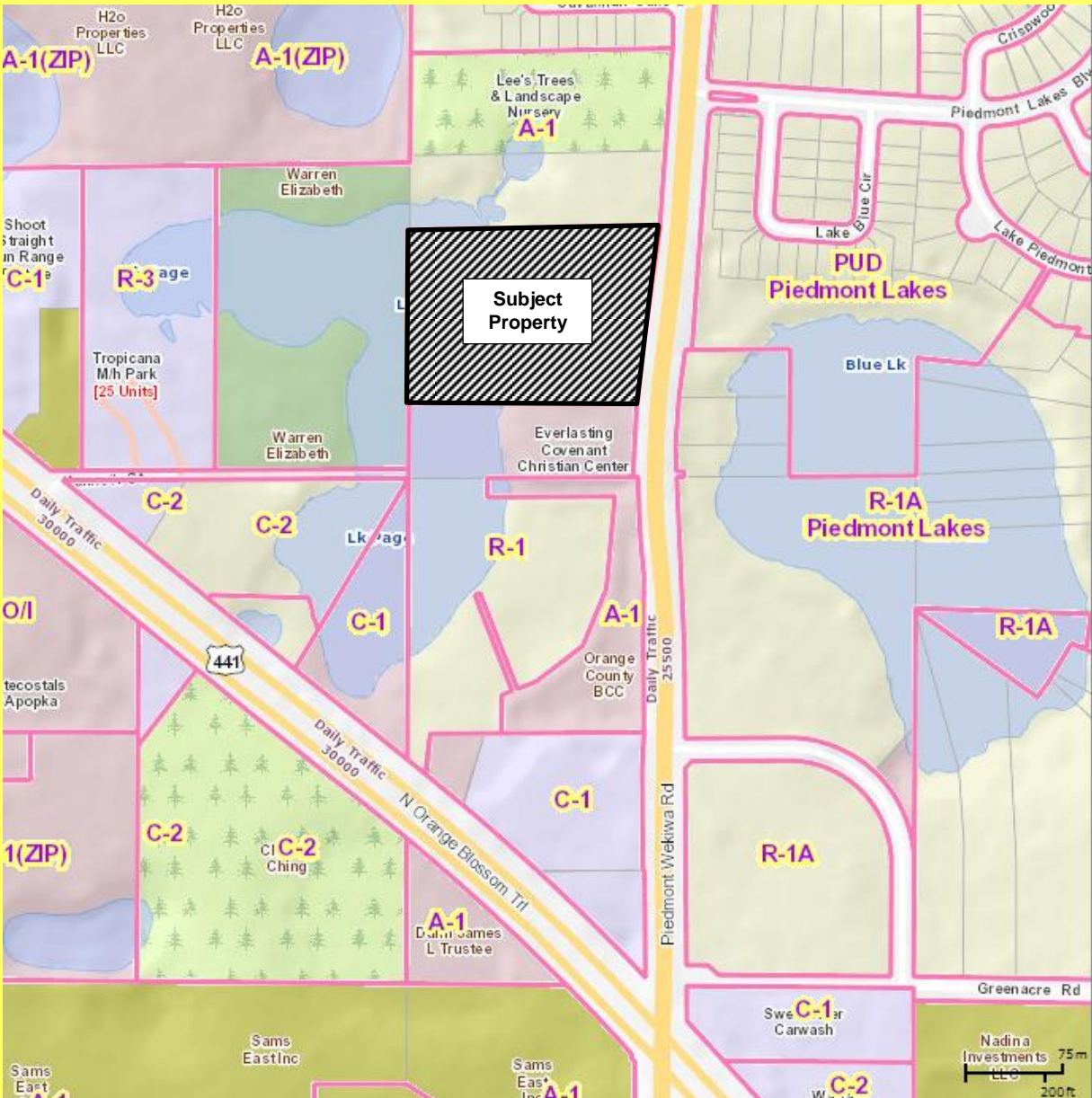
Joseph E. Ball and Jeff P. Ball
6.49 +/- Acres
Existing Maximum Allowable Development: 19 dwelling units
Proposed Maximum Allowable Development: 48,162 sq. ft.
Proposed Small Scale Future Land Use Change
From: Residential Low (0-5 du/ac)
To: Office (0.30 FAR)
Parcel ID #: 13-21-28-0000-00-030

VICINITY MAP



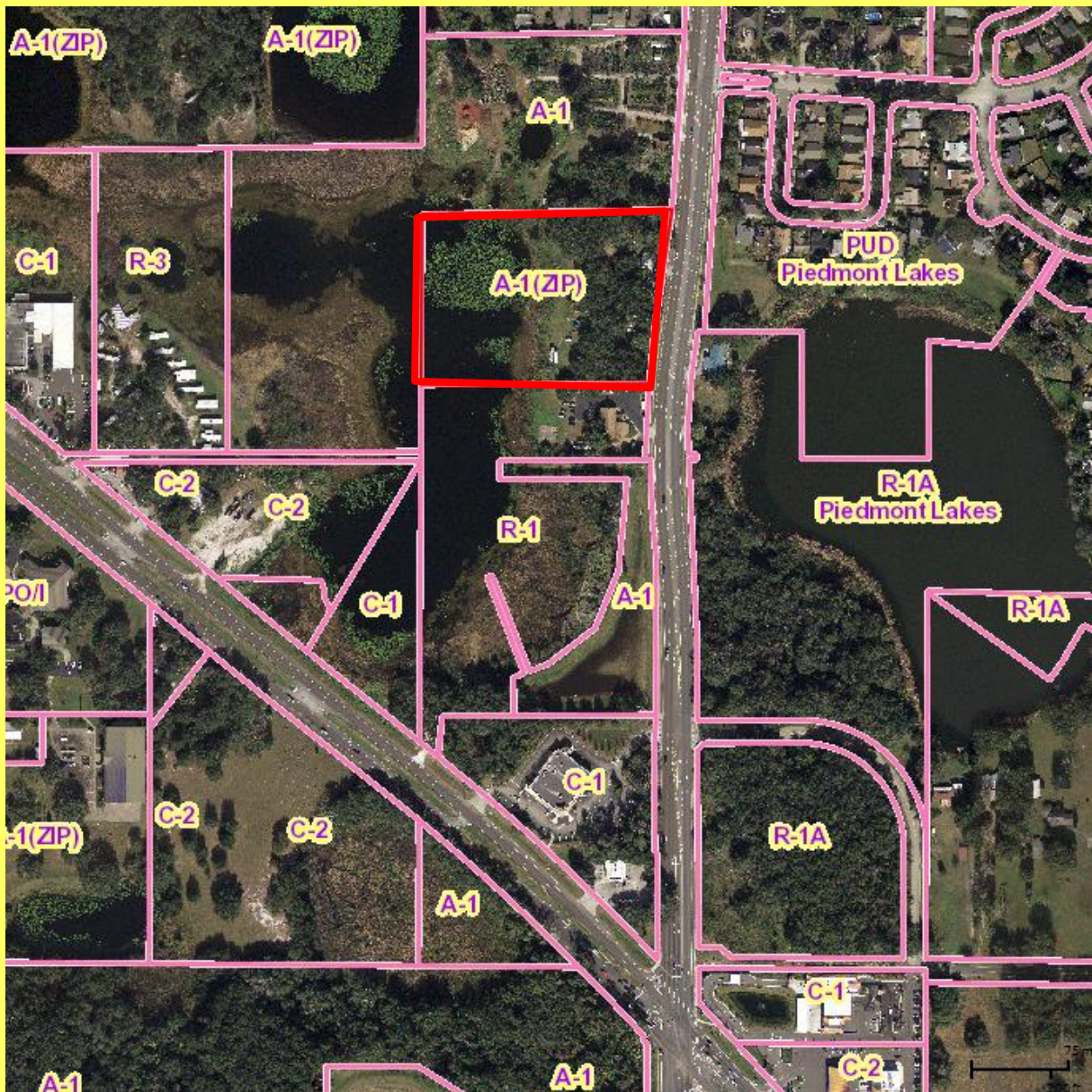


ADJACENT ZONING





ADJACENT USES





EXISTING USES



Backup material for agenda item:

4. CHANGE OF ZONING – Joseph E. and Jeff P. Ball, from R-1 to Planned Unit Development (PUD-PO/I), for property located west of Piedmont Wekiwa Road, north of US 441. (1166 Piedmont Wekiwa Road). (Parcel ID #: 13-21-28-0000-00-030)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	May 12, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Zoning Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Use Map

SUBJECT: CHANGE OF ZONING - JOSEPH E. BALL AND JEFF P. BALL

PARCEL ID NUMBER: 13-21-28-0000-00-030

Request: CHANGE OF ZONING
FROM: R-1 (RESIDENTIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD/PO/I)
(PROFESSIONAL OFFICE/INSTITUTIONAL)

SUMMARY

OWNERS: Joseph E. Ball and Jeff P. Ball

APPLICANT: Telesis Services, LLC, c/o Greg Banta and Scott Banta

LOCATION: West of Piedmont Wekiwa Road, north of U.S. 441, south of East Semoran Boulevard (1166 Piedmont Wekiwa Road)

EXISTING USE: Vacant

FLUM DESIGNATION: Residential Low Density (0 – 5 du/ac); (proposed – Office)

CURRENT ZONING: A-1 (ZIP)

PROPOSED DEVELOPMENT: Professional Office

PROPOSED ZONING: Planned Unit Development (PUD/PO/I) (Note: this Change of Zoning request is being processed along with the request to change the Future Land Use Designation from Residential Low (0-5 du/ac) to Office (0.30 FAR))

TRACT SIZE: 6.49 +/- acres
3.72 +/- acres developable (2.77 +/- acres submerged)

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 32 Units
PROPOSED: 48,162 Sq. Ft.

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcel was annexed into the City of Apopka on December 19, 2007, through the adoption of Ordinance No. 2011. The proposed Change of Zoning is being requested by the owner.

A request to assign a zoning designation of PUD/PO/I is compatible with the designations assigned to abutting properties. The zoning application covers approximately 6.49 acres, of which 3.72 acres are developable. The property owner intends to use the site for a professional office use.

The subject property is located adjacent to a residential district. Staff recommends the development standards below that would allow for limited professional office development and also preserve the residential character of the surrounding area:

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be: all such uses permitted within the PO/I (Professional Office/Institutional PO\I (zoning category) except for following PO\I uses shall be prohibited:

1. Hospitals, museums, libraries or cultural institutions;
2. Retail establishments, including those for the sale of pharmaceutical, medical and dental supplies or other hospital-related items;
3. All other uses listed as prohibited within the Professional Office/Institutional zoning district.

A church parsonage will require a special exception approval from the Planning Commission.

B. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Final Development Plan submitted in association with the PUD district.

C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

D. Unless otherwise approved by City Council through an alternative development guideline that is adequate to protect the public health safety and welfare, the following development standards shall apply to the development of the Property and for the master site plan:

Site Design Standards

1. The front façade and primary entrance of the building shall be oriented toward Piedmont-Wekiwa Road with the buildings (s) near the street and parking located to the rear or side of the building. Alternatively, the building(s) may be located just outside the required upland buffer to Lake Page with parking located between the building and Piedmont-Wekiwa Road.
2. Minimum front setback of 15 ft. and a maximum of 25 ft. if building oriented to Piedmont-Wekiwa Road.
3. Parking areas shall be screened from the public street by a hedge or a 3-foot decorative stone wall. Additional landscaping or earth-berm shall be provided if the building(s) are oriented to Lake Page.

Building Design Standards

New development shall have architectural features and materials that are residential in character.

- a. Any office structure shall have a roof with a 4-to-1 pitch and shall be shingled or tiled.
- b. Maximum number of stories allowed is two (2). Maximum building height of thirty-five (35) feet.
- c. Windows shall include fenestration detail and/or shutters.
- d. All ground and rooftop utilities shall be screened from view from any public street or adjacent property.
- e. A main building entrance shall face a public street with designate pedestrian walkway leading to a sidewalk within the public street.

Building Design Guidelines

1. Building exterior design uses residential-scale fenestration that may include:
 - i. Windows with multi-pane glazing
 - ii. Dormers or similar architectural features
 - iii. Roof overhang, cornice, eaves, soffits
2. Building façades that are modulated into house-sized segments or broken into separate buildings are encouraged.
3. A portico or porch is encouraged to define a main building entrance.
4. The total area of the first floor of a building shall not exceed 12,000 sq. ft. and the total gross floor area of a building shall not exceed 18,000 sq. ft. The minimum and maximum floor area does not apply to churches.

Signage

1. Sign copy on a monument sign shall not exceed 36 sq. ft.
2. No sign shall include changeable sign copy or electronic reader board signage.
3. An office building shall include wall signage.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City's proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this change of zoning represents a change to a non-residential designation, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission (5:01 pm)
May 20, 2015- City Council (7:00 pm) - 1st Reading
June 3, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification
May 22, 2015 – Ordinance Heading Ad
May 29, 2015 – ¼ Page w/Map Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of surrounding residential areas, and recommends approval of the change in zoning from A-1 (ZIP) to Planned Unit Development (PUD/PO/I) subject to the PUD developments standards for the property owned by Joseph E. Ball and Jeff P. Ball.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Residential Low (0-5 du/ac)	A-1	Single-Family Residence
East (City)	Residential Low (0-5 du/ac)	PUD & R-1A	Single-Family Residence, Vacant Land, Blue Lake
South (City)	Residential Low (0-5 du/ac)	R-1	Church
West (County)	Rural (0-1 du/10 ac)	A-1	Vacant Land, Lake Page

LAND USE & TRAFFIC COMPATIBILITY:

The property has access to a Collector roadway (Piedmont Wekiwa Road). A church is a permissible use within the Planned Unit Development (PUD-PO/I) zoning category. Future land use designations and zoning categories assigned to properties to the north, south, east, and west is predominantly residential and commercial.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PUD/PO/I zoning is compatible with policies set forth in the Comprehensive Plan.

PO/I DISTRICT REQUIREMENTS:

FAR:	0.30 (max.)
Open Space:	30 percent
Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width:	85 ft.
Setbacks: Front:	25 ft.
Side:	10 ft.
Corner:	25 ft.
Rear:	10 ft.
Adjacent to Residential:	25 ft.

BUFFERYARD REQUIREMENTS:

Areas adjacent to all road rights-of-way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent residential use shall provide a minimum six (6) foot masonry wall within a ten (10) foot landscaped bufferyard.

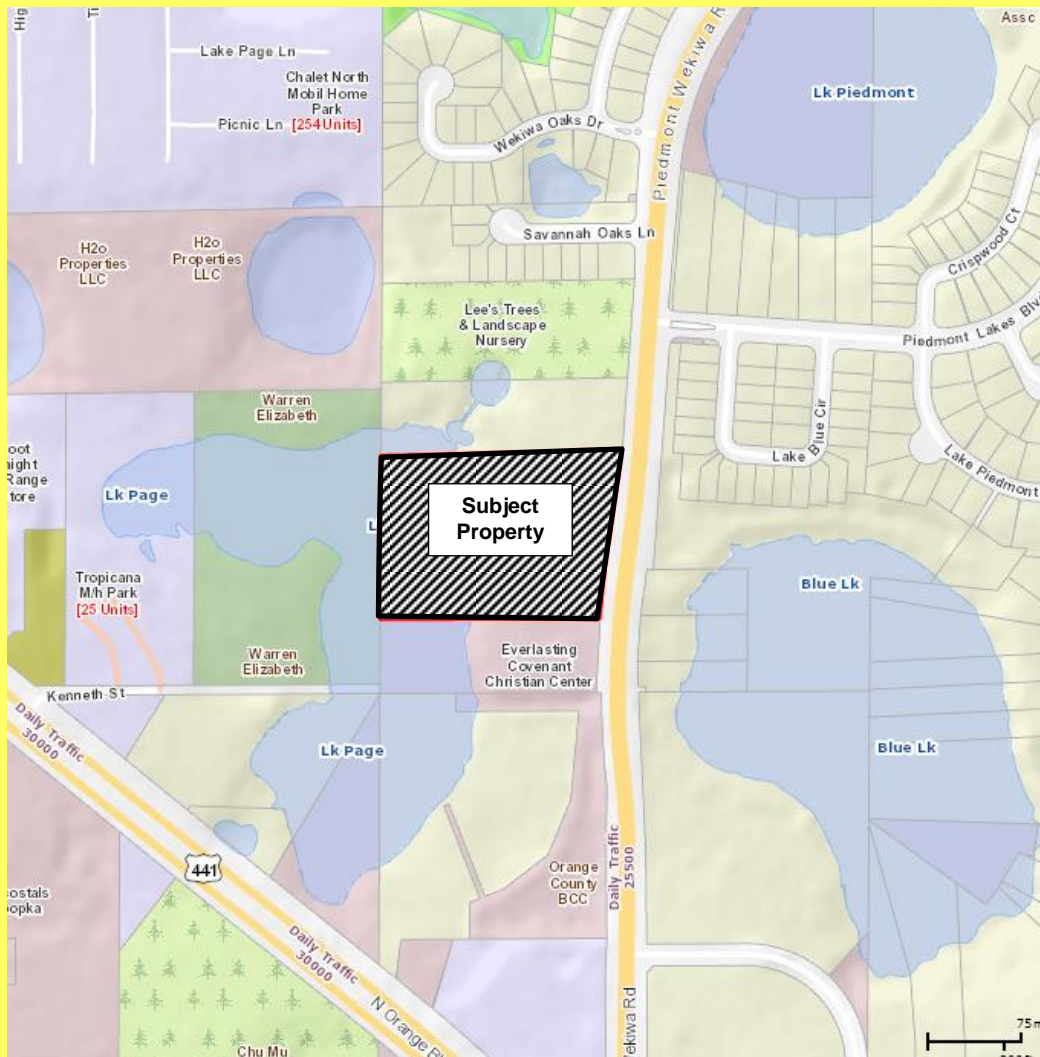
ALLOWABLE USES:

Professional offices, medical or dental clinics and offices, establishments for the retail sale of pharmaceutical, medical and dental supplies, hospitals, museums, libraries, churches and educational facilities.



Joseph E. Ball and Jeff P. Ball
6.49 +/- Acres
Existing Maximum Allowable Development: 19 dwelling units
Proposed Maximum Allowable Development: 48,162 sq. ft.
Proposed Zoning Change
From: A-1 (ZIP)
To: Planned Unit Development (PUD/PO/I)
Parcel ID #: 13-21-28-0000-00-030

VICINITY MAP

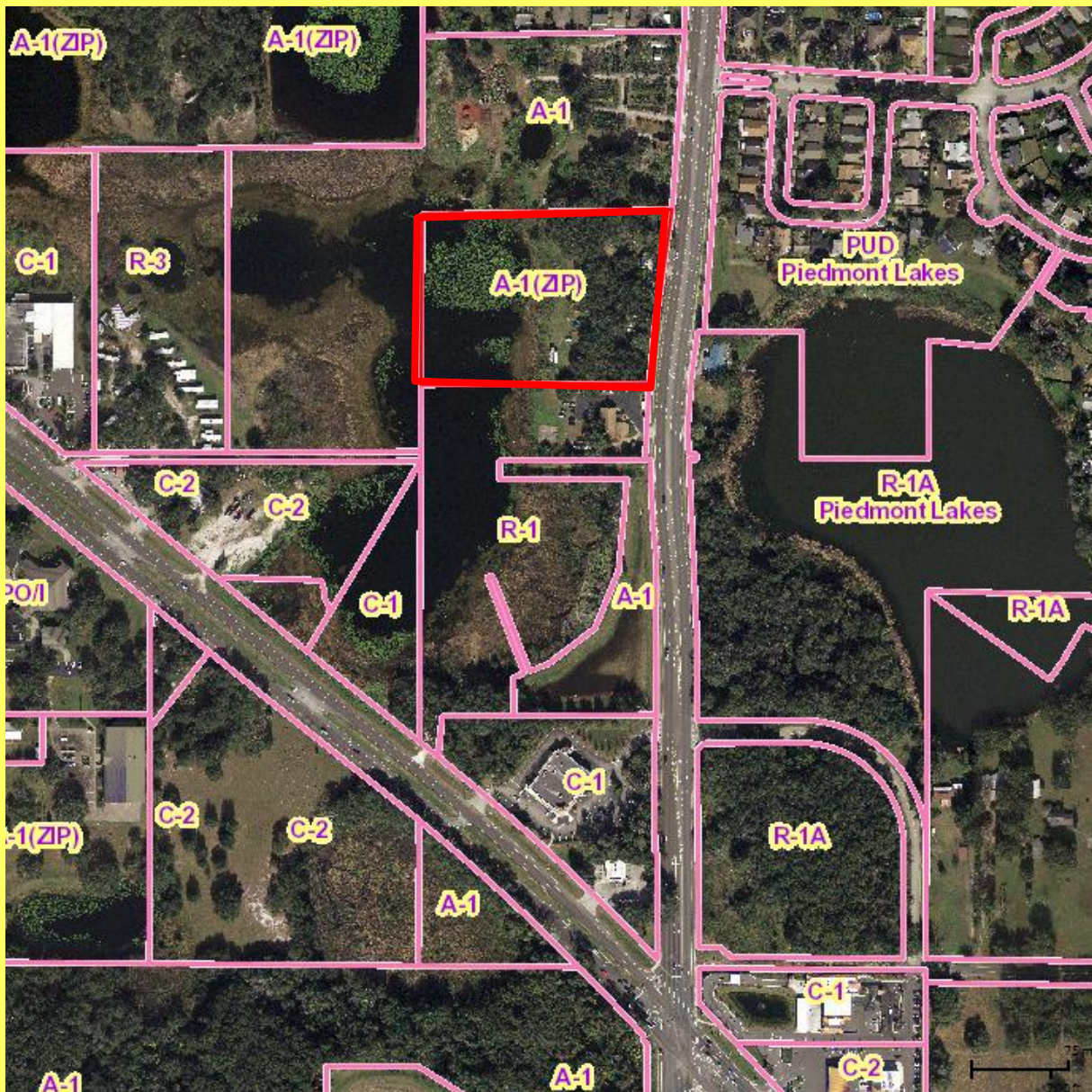


The map displays the following details:

- Subject Property:** A central rectangular area with diagonal hatching and a black border, labeled "Subject Property".
- Zoning Districts:**
 - A-1:** Single-Family Detached (e.g., Lee's Trees & Landscape Nursery, Everlasting Covenant Christian Center, Orange County BCC, Durr James L Trustee).
 - C-1:** Community Center (e.g., Tropicana Mh Park [25 Units], CI C-2 Ching).
 - C-2:** Community Center (e.g., Warren Elizabeth, Sams Eastline).
 - R-1A:** Single-Family Detached (e.g., Piedmont Lakes, Greenacre Rd).
 - R-3:** Single-Family Detached (e.g., Warren Elizabeth).
 - PUD:** Planned Unit Development (e.g., Piedmont Lakes).
- Water Features:** Blue Lk, Lake Piedmont, Lake Blue, and several smaller ponds.
- Roads:**
 - N Orange Blossom Trl (US 441):** A major diagonal road with "Daily Traffic 30000".
 - Piedmont Wekiwa Rd:** A vertical road with "Daily Traffic 25500".
 - Other roads:** Criswood, Lake Blue Cir, Lake Piedmont, Greenacre Rd.
- Other Labels:**
 - H2o Properties LLC:** Located in the top left.
 - Shoot Straight in Range:** Located in the top left.
 - tecostals Apopka:** Located in the bottom left.
 - Sams East:** Located in the bottom left.
 - Sams Eastline:** Located in the bottom left.
 - Sw C-1 Carwash:** Located in the bottom right.
 - Nadina Investments LLC:** Located in the bottom right.
- Scale:** A scale bar in the bottom right corner indicates 75m and 200ft.



ADJACENT USES





EXISTING USES



Backup material for agenda item:

5. CHANGE OF ZONING/MASTER PLAN – Avian Pointe – Apopka Clear Lake Investments, LLC – From “City” Planned Unit Development (PUD) (89.47 AC) and “County” A-2 (ZIP) (5.29 AC) to “City” Planned Unit Development (PUD/R-3), for property located east of S.R. 429, south of Peterson Road, and north of Lust Road. (Parcel ID Nos. 07-21-28-0000-00-002 & 07-21-28-0000-00-023)



**CITY OF APOPKA
PLANNING COMMISSION**

<u>X</u> PUBLIC HEARING ____ ANNEXATION ____ PLAT APPROVAL ____ OTHER:	DATE: May 12, 2015 FROM: Community Development EXHIBITS: Land Use Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Ex. A Master Plan Ex. B & B-1 Development Standards Ex. C Landscape Plan Ex. D Open Space\Rec Plan Ex. E Prototype Renderings Ex. F Flex Use Zone Uses
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SUBJECT: **CHANGE OF ZONING/MASTER PLAN & PRELIMINARY DEVELOPMENT PLAN - AVIAN POINTE – APOPKA CLEAR LAKE INVESTMENTS, LLC**

PARCEL ID NUMBERS: **07-21-28-0000-00-002, 07-21-28-0000-00-015, & 07-21-28-0000-00-023**

Request: **CHANGE OF ZONING**
FROM: **“CITY” PLANNED UNIT DEVELOPMENT AND**
 “COUNTY” A-2 (ZIP)
TO: **“CITY” PLANNED UNIT DEVELOPMENT (PUD/R-3)**

SUMMARY

OWNERS: Apopka Clear Lake Investments, LLC & Lust Grant\WD Long Family Farms

APPLICANT: Apopka Clear Lake Investments LLC, c/o Ken Stoltenberg

ENGINEER\PLANNER: Tannath Design, Inc.\Holly Swanson

LOCATION: East of S.R. 429, south of Peterson Road, and north of Lust Road

FLUM DESIGNATION: Residential Medium Density (90.7 ac) and Residential Low Density (30.3 ac)

EXISTING USE: Vacant Land

CURRENT ZONING: Planned Unit Development (PUD) and County A-2 (ZIP)

PROPOSED DEVELOPMENT: Mixed Use Residential and Flex Use

PROPOSED ZONING: Planned Unit Development (PUD/R-3)

TRACT SIZE: 125.27 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 626 Units
 PROPOSED: 1,253 Units

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS:

Parcel ID No.	Date Annexed	Ordinance No.	Acres +/-
07-21-28-0000-00-002	December 17, 1997	1129	89.47
07-21-28-0000-00-015	August 16, 2000	1365	30.51
07-21-28-0000-00-023	January 7, 2004	1621	5.29

The applicant submitted an application to the City requesting a zoning category of Planned Unit Development for these same two parcels as well as the parcel abutting the northwest corner of the subject property. This third parcel, owned by W.D. Long Family Farms et.al

Development Profile:

Total Residential Units	758 units		Min. Livable Area	
Single Family (70' width; 8,400 sq.ft. min.)	58 units	7.65%	1,700 sq. ft.	
Townhomes	216 units	28.50%	1,350 sq. ft.	
Apartments	484 units	63.85%	1-bedroom:	750 sq. ft.
			2-bedroom:	900 sq. ft.
			3-bedroom:	1,050 sq. ft.
Flex Use				
Public\private school; ALF\Senior housing; 100-bed boutique hotel	6.09 ac			
Community Park	10.36 ac			
Open Space	30%			
Park & Recreation	Each residential phase has its own park and recreation facility plan.			
Building Height				
Apartments	3 stories; 45 ft.			
Townhomes	3 stories; 45 ft.			

SCHOOL CAPACITY REPORT: The applicant has obtained an School Capacity Enhancement Agreement from Orange County Public Schools. School concurrency will be required at the time of the Preliminary Development Plan application. Location served by the following schools: Apopka Elementary; Wolf Lake Middle School; and Apopka High School.

ORANGE COUNTY NOTIFICATION:

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 – Planning Commission (5:01 pm)

May 20, 2015 – City Council (7:00 pm) - 1st Reading

June 3, 2015 – City Council (1:30 pm) – 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification

May 22, 2015 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of:

- 1) Change in Zoning from “City” Planned Unit Development and “County” A-2 (ZIP) to “City” Planned Unit Development (PUD/R-3) for approximately 125.27 +/- acres for the property owned by Apopka Clear Lake Investments LLC and Lust Grant, subject to the information and findings in the staff report and City approval of a Development Agreement for transportation and other infrastructure improvements;
- 2) Avian Pointe PUD Master Plan

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	A-1; Mixed-EC	Vacant Land (former Coca-Cola sprayfield property)
East (City)	Residential Low (0-5 du/ac)	R-1A; PUD	Clear Lake Landing subdivision (near construction; Vacant Land/Nursery; Clear Lake
South (City)	Residential Low Suburban (0-3.5 du/ac)	“County” A-1 (ZIP)	Vacant Land
West (County)	“County” Rural (1 du/10 ac/Agricultural)	“County” A-2 & A-1	S.R. 429 Tollway; Vacant Land (Lake Apopka Restoration Area) west of the tollway

**LAND USE & TRAFFIC
COMPATIBILITY:**

A transportation was prepared by the applicant’s transportation planning and engineering consultant, Luke Transportation. The city engineer has accepted this study.

As a condition of the PUD zoning and the development agreement, the developer must construct a new road north to Peterson Road prior to completion of the 455 residential unit or the flex use district or as set forth within the Development Agreement. The Spine Road must also be completed according to the schedule set forth within the Development Agreement. The Development Agreement will also address an HOA fee for maintenance of any on-street parking within public roads.

The Spine Road will be a public road, while all other internal streets will be private.

The subject property will serve as a transition between S.R. 429 and single family residential development along Binion Road. However, traffic volumes generated by the development densities proposed by Medium Density Residential will need additional roadway access besides Lust Road. Thus, a second road to the north is necessary to accommodate development and vehicle trips generated by residential densities proposed at the subject site. Therefore, the Development Review recommendation for Medium Density Residential is subject to the applicant demonstrating that a new northern road can be constructed from the northern project boundary to West Orange Avenue.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed Planned Unit Development (PUD/R-3) zoning is consistent with the City’s Residential Medium (0-10 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

**PUD
RECOMMENDATIONS:**

PUD development standards appear within the Master Plan sheets. If a development standard is not addressed within the Master Plan, the City’s Land Development Code and Development Design Guidelines shall apply. A preliminary development plan must be submitted to the City for each development phase.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed City PUD zoning is consistent with the City’s Residential Medium (0-10 du/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

**R-3 PERMISSIBLE
USES:**

Any use permitted in the R-3 zoning district; Multifamily dwellings, including, but not limited to, single family, triplex, quadruplex, townhouses, condominium, and apartment complexes.

Avian Pointe - Apopka Clear Lake Investments LLC

Existing Maximum Allowable Development: 665 SFR

Proposed Maximum Allowable Development: 58 SFR; 218 Townhomes; and 484 Apartment Units

Proposed Change of Zoning

From: “City” Planned Unit Development and “County” A-2 (ZIP)

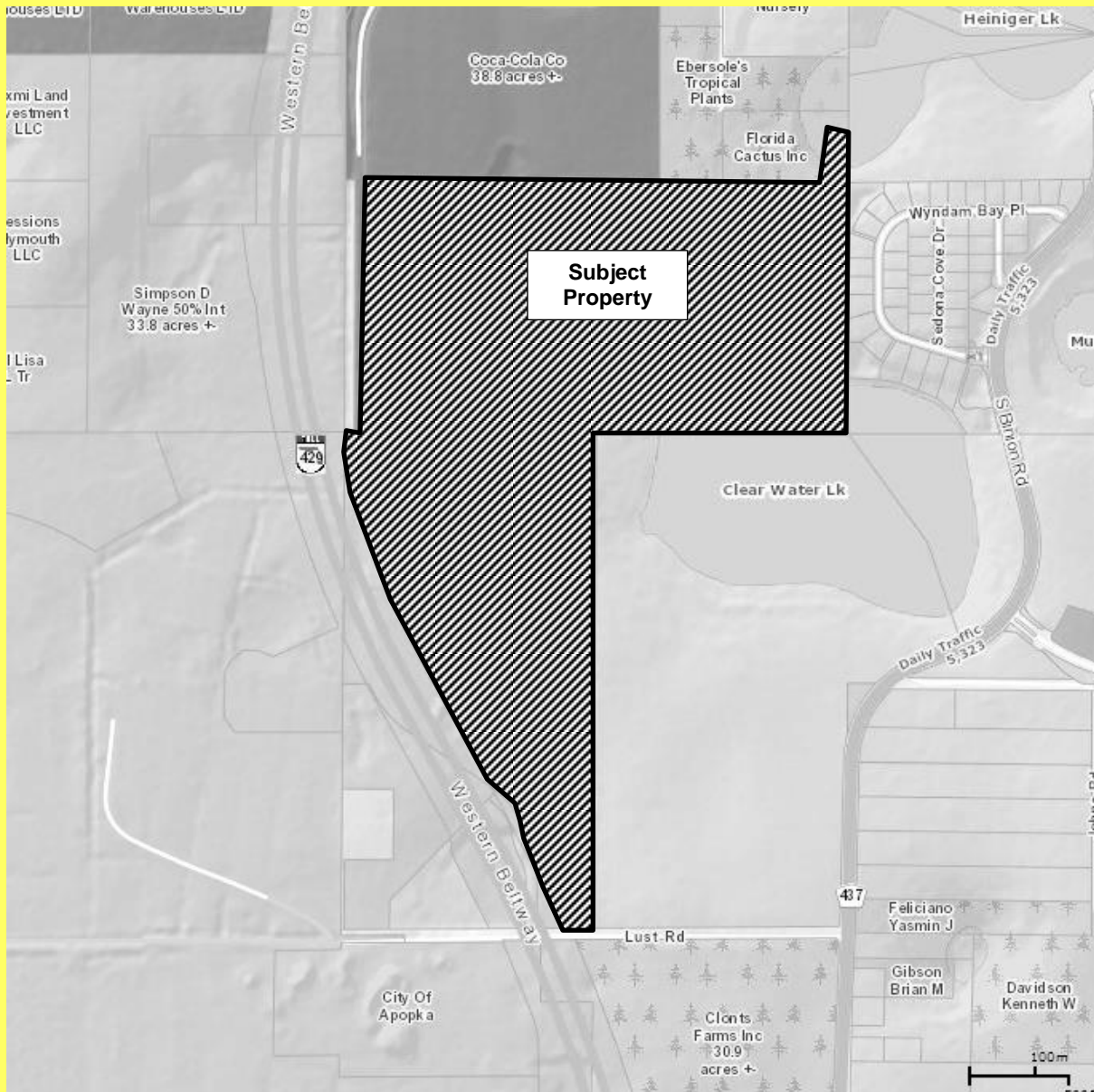
To: “City” Planned Unit Development (PUD/R-3)

Parcel ID #s: 07-21-28-0000-00-002, 07-21-28-0000-00-015, 07-21-28-0000-00-023

125.27 +/- Acres Combined

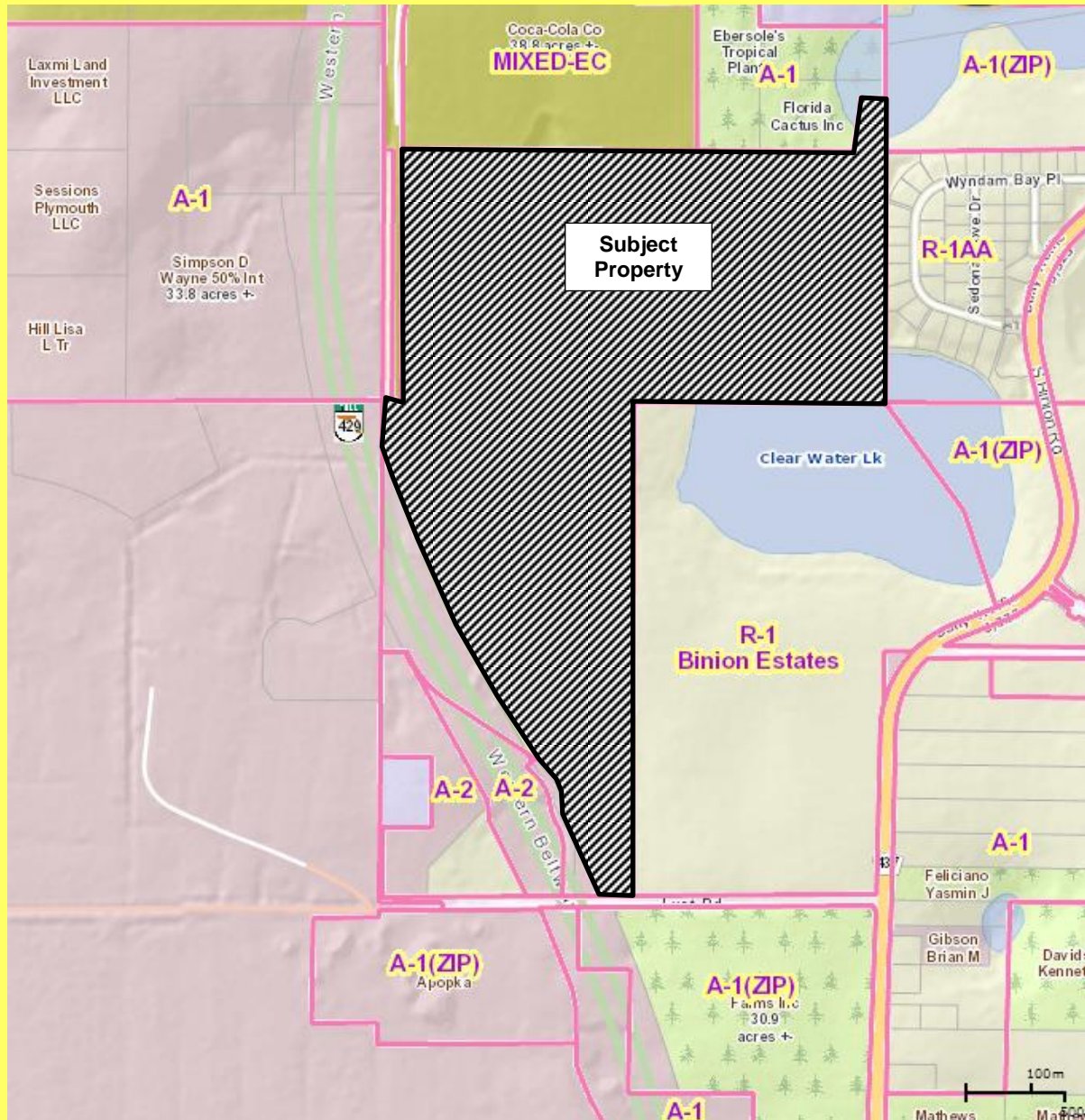


VICINITY MAP





ADJACENT ZONING





ADJACENT USES



<div>GENERAL NOTES</div> <div><div><div>1. PROJECT SHALL COMPLY WITH THE FOLLOWING:<ul style="list-style-type: none">AMERICANS WITH DISABILITIES ACTCITY OF APOPKA MUNICIPAL & LAND USE CODES, DESIGN GUIDELINES AND STANDARDSCITY OF APOPKA FIRE DEPARTMENTFLORIDA FIRE MARSHALFLORIDA DEPARTMENT OF TRANSPORTATIONST. JOHN'S WATER MANAGEMENT DISTRICT</div><div>2. ON-SITE ROADS & DRAINAGE SYSTEM, INCLUDING THE RETENTION PONDS, WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER WITH A MUNICIPAL SERVICE TAXING UNIT ESTABLISHED FOR STORMWATER SYSTEM FUNCTIONALITY. ROUTINE MAINTENANCE, INCLUDING MOWING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.</div><div>3. ALL STORMWATER PONDS SHALL BE DESIGNED IN ACCORDANCE WITH SJWMD & CITY OF APOPKA STANDARDS.</div><div>4. BUFFER, LANDSCAPING, RECREATION AND COMMON AREAS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.</div><div>5. BUFFERS - WHERE REQUIRED - WILL CONSIST OF LANDSCAPING, BERMS, APPROVED FENCING, EXISTING & NEW CITY-APPROVED TREES.</div><div>6. PROJECT INFRASTRUCTURE WILL BE DEVELOPED IN ONE PHASE.</div><div>7. UTILITIES SHALL BE PROVIDED BY THE CITY OF APOPKA.</div><div>8. PROJECT SHALL COMPLY WITH CITY OF APOPKA DEVELOPMENT REQUIREMENTS PER MUNICIPAL CODE PART II ARTICLE II LAND USE: TYPE, DENSITY AND INTENSITY.</div><div>9. STRUCTURES SHALL COMPLY WITH FLORIDA BUILDING CODE, CURRENT ENFORCED EDITION.</div><div>10. ROADS AND PARKING AREAS SHALL COMPLY WITH FDOT DESIGN AND ENGINEERING REQUIREMENTS. R.O.W. PAVEMENT WORK MUST UTILIZE TYPE SP-8.5 ASPHALT.</div><div>11. MASTER PLAN AS SHOWN IS CONCEPTUAL. ALL FEATURES NOTED HEREIN SHALL BE SUBJECT TO JURISDICTIONAL APPROVALS AND CIVIL ENGINEERING REFINEMENTS IN ACCORD WITH AGENCY REQUIREMENTS.</div><div>12. LANDSCAPE & IRRIGATION PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE NO. 2089.</div><div>13. A DEVELOPER AGREEMENT SHALL BE REQUIRED FOR OFF-SITE RIGHT OF WAY IMPROVEMENTS FROM THE NORTH ENTRANCE DRIVE TO THE INTERSECTION OF ORANGE AVENUE.</div></div></div> <tr><td><div>PROJECT</div><div><div>AVIAN POINTE</div><div>CITY OF APOPKA, FLORIDA</div><div>(FORMERLY KNOWN AS BINION ESTATES)</div><div>PUD ZONING AMENDMENT</div><div>&</div><div>MIXED USE MASTER PLAN</div></div><div><div>PARCEL I.D. NUMBERS</div><div>07-21-28-0000-00-015</div><div>07-21-28-0000-00-002</div><div>07-21-28-0000-00-023</div></div><div>SUBMITTED MAY 30, 2014</div><div><div>RESUBMITTALS:</div><div><div>1. JUNE 12, 2014</div><div>2. APRIL 27, 2015</div></div><div><div>STAFF COMMENT RESPONSES & REVISIONS</div><div>STAFF COMMENT RESPONSES & REVISIONS</div></div></div></td></tr>	<div>PROJECT</div> <div><div>AVIAN POINTE</div><div>CITY OF APOPKA, FLORIDA</div><div>(FORMERLY KNOWN AS BINION ESTATES)</div><div>PUD ZONING AMENDMENT</div><div>&</div><div>MIXED USE MASTER PLAN</div></div> <div><div>PARCEL I.D. NUMBERS</div><div>07-21-28-0000-00-015</div><div>07-21-28-0000-00-002</div><div>07-21-28-0000-00-023</div></div> <div>SUBMITTED MAY 30, 2014</div> <div><div>RESUBMITTALS:</div><div><div>1. JUNE 12, 2014</div><div>2. APRIL 27, 2015</div></div><div><div>STAFF COMMENT RESPONSES & REVISIONS</div><div>STAFF COMMENT RESPONSES & REVISIONS</div></div></div>
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DEVELOPMENT SUMMARY

PARKING SUMMARY					
PARCEL	USE	REQUIRED	PROVIDED	# ENCLOSED	OVER/LOW/MISSING
A	SINGLE FAMILY	2 PER UNIT	4 PER UNIT	2 PER UNIT	0
B-1	TOWNHOMES	2 PER UNIT	2 PER UNIT	1 PER UNIT	41
B-2	APARTMENTS *				
	1 BR **	2 PER UNIT	1.5 PER UNIT	0	0
	2 BR	2 PER UNIT	0	2 PER UNIT	0
	3 BR	2 PER UNIT	2 PER UNIT	0	0
B-3	TOWNHOMES	2 PER UNIT	2 PER UNIT	1 PER UNIT	38
B-4	COMMUNITY PARK	N/A	N/A	N/A	42
B-5	FLEX ZONE	PER LOC STANDARDS BY USE			

* ADDITIONAL SPACES PENDING PRELIMINARY SITE PLAN DESIGN
** VARIANCE REQUIRED

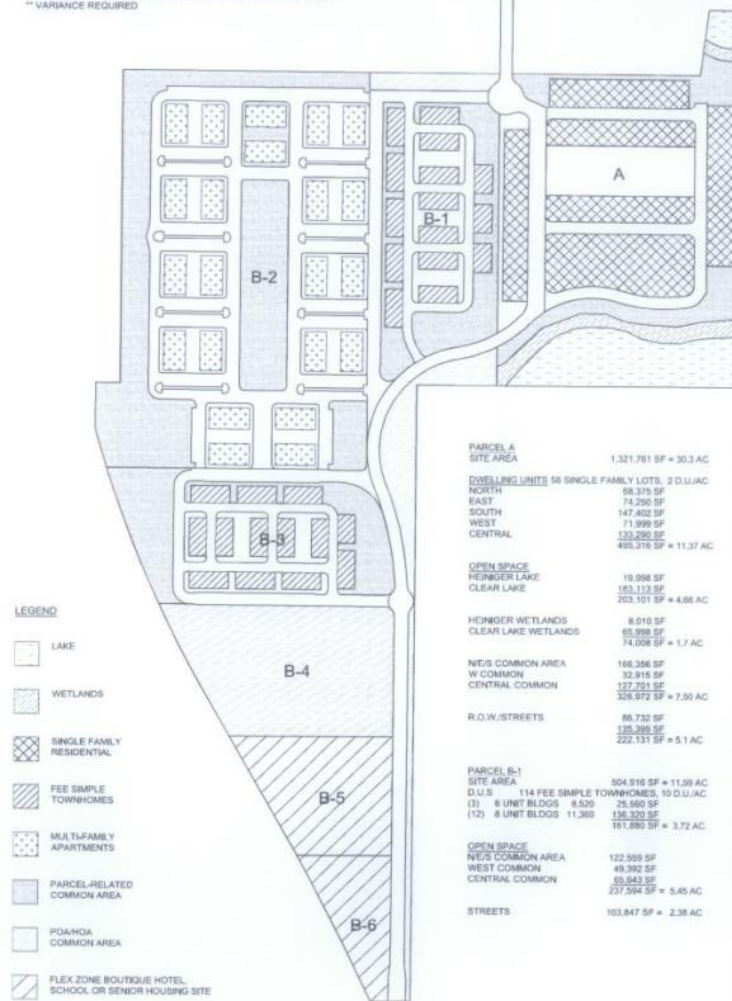
APARTMENT UNIT SUMMARY

UNIT TYPE	% OF UNITS	# OF UNITS	LIVABLE SF/UNIT
1 BR	40%	194	750 SF MIN
2 BR	40%	194	900 SF MIN
3 BR	20%	96	1,050 SF MIN

* NO STUDIO APARTMENTS ALLOWED

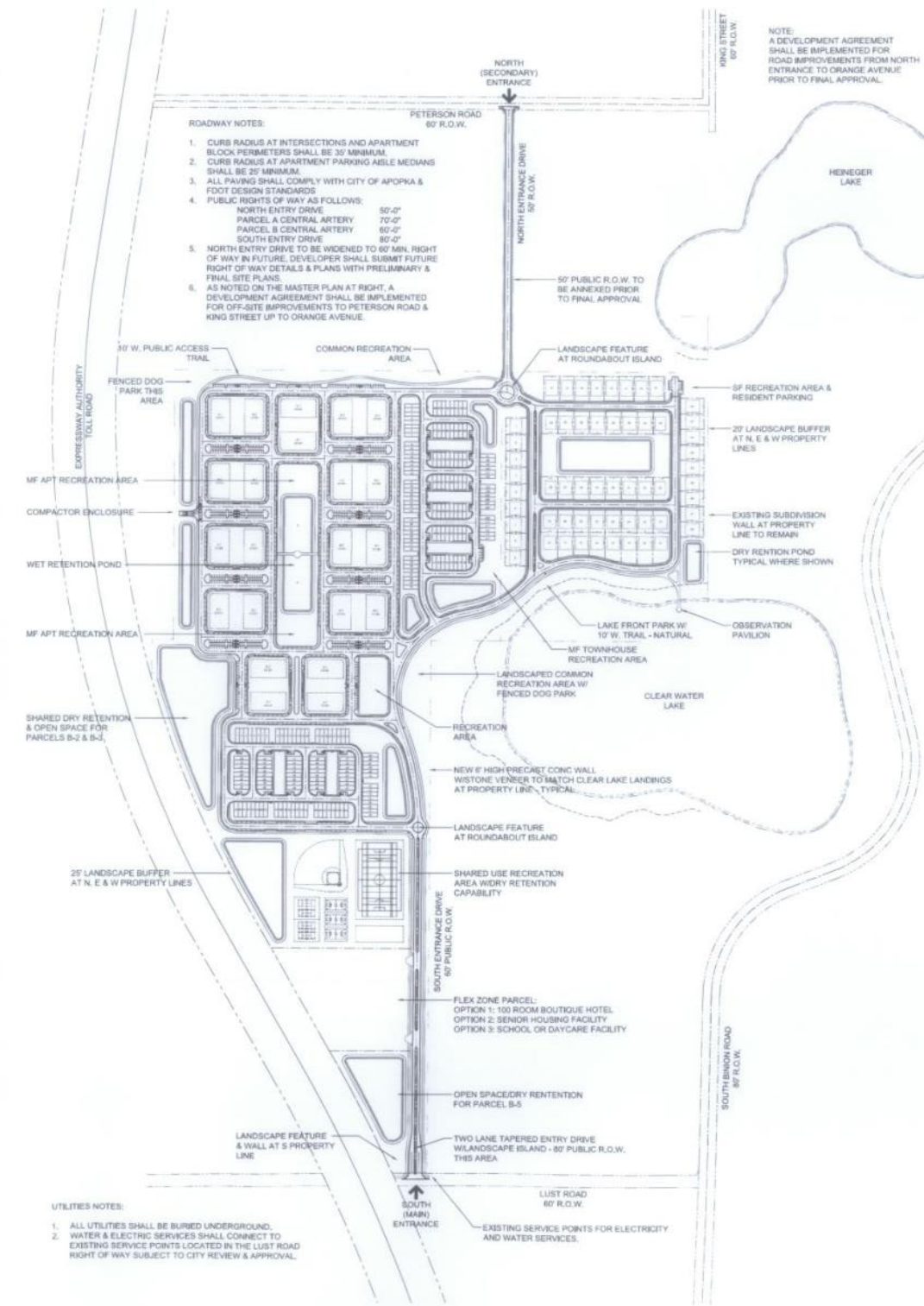
NOTES

1. PHASING AS INDICATED BY LETTER/NUMBER DESIGNATIONS BELOW.
2. INFRASTRUCTURE SHALL BE IN PLACE PRIOR TO COMMENCEMENT WITH INITIAL DEVELOPMENT PHASE.
3. SEE SHEETS ZA.07 & ZA.08 FOR OPEN SPACE & RECREATION AREA CALCULATIONS.



MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

MASTER PLAN



UTILITIES NOTES:

1. ALL UTILITIES SHALL BE BURIED UNDERGROUND.
2. WATER & ELECTRIC SERVICES SHALL CONNECT TO EXISTING SERVICE POINTS LOCATED IN THE LUST ROAD RIGHT OF WAY SUBJECT TO CITY REVIEW & APPROVAL.

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

HOLLY SWANSON
ARCHITECT, AIA

6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AR92665

CONSULTING ENGINEER:

ERIC J HENDRA, P.E.



PROJECT INFORMATION:

AVIAN POINTE
(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
(SINGLE FAMILY TO MIXED USE)

2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1" = 300'

ISSUE:

DATE:	REV:	DESCRIPTION:
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3/24/14		CITY REVIEW
---------	--	-------------

3/28/14		CITY SUBMITTAL 1
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5/30/14		CITY SUBMETAL 2
6/10/14	△	REVISION 1

6/12/14	1	REVISION 1
4/27/15	2	REVISION 2

SEAL

SHEET NUMBER:

ZA.02

PROJECT NUMBER:	14-001
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DATE:	4-27-15
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DRAWN BY:	HS
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Refer to developer agreement for additional project information regarding development standards & guidelines.

COMMUNITY DESIGN

1. Northern & southern entrance feature designs and landscaping will be provided at the preliminary development plan.
2. Postal Service:
 - a. Parcel A: Service shall be via individual mailboxes located in the landscape strip abutting the street. If any on-street parking is proposed within the Spine Road for Parcel A, a mail kiosk may be required at the time of the preliminary development plan.
 - b. Mailboxes shall be uniform in design & color and overseen by the homeowner's association.
 - c. Parcels B-1, B-2 & B3 shall have USPS/ADA approved mail kiosks as shown on the enlarged master plan. These kiosks shall be located on paved areas with sufficient maneuvering clearances and proper grading to accommodate both mail carriers and persons with disabilities. A letter from the Apopka USPS shall be required prior to approval of the preliminary development plan.
3. Public and private roads are called out on the enlarged master plan sheets. A list of potential street names is included in this document set. Final street names shall be submitted with the preliminary development plan.
4. Fenced dog parks: two (2) fenced dog parks are noted on the Master Plan. ~~One is located at the northwest corner of the apartment complex parcel. The second is called out within the B parcel P.O.A. area adjacent to the northwest corner of clear lake commons~~ Avian Point with no adjacent residential lots within that development. Delineated dog park plans shall be submitted with the preliminary development plan.
5. A list of potential 'village' or neighborhood names shall be included with the preliminary site plan. Each village will be named 'xxxx' at Avian Pointe.
6. Community signage will be uniform, developed, submitted and approved per City of Apopka signage standards at the preliminary site\subdivision plan.
7. Community street lighting will be uniform, selected, submitted and approved per City of Apopka street lighting standards at the preliminary site plan. Street light and pedestrian light poles shall be of a decorative type consistent with City's Development Design Guidelines.

PARKING

1. Parking standards set forth within Sheet ZA.02 for parking summary table, Master Plan.
2. On street parallel parking spaces shall be a minimum of 9' wide x 22' in length.
3. Head-in, 90° standard parking spaces shall be a minimum of 9' wide x 18' in length.
4. Head-in 90° standard parking spaces at Parcel B-2 parking aisles may be decreased to 9' wide x 16' deep to increase landscaped median per city of Apopka LDC.
5. Head-in 90° ADA parking spaces shall be a minimum of 12' wide x 19' long & meet both Florida building code and Federal ADA standards. A 5' wide accessible aisle shall be required at each ADA parking space. Each space shall be marked with the universal ADA symbol and be provided with appropriate signage in accordance with code requirements.
6. Compact spaces are not allowed.

7. Garage setbacks:

Parcel A: 30' minimum clear driveway depth to right of way sidewalk

Parcels B-1 & B-3: 20' min. clear driveway depth to right of way sidewalk.

8. Front entry garage minimum setback for single family homes is 30' per development design guidelines.
9. Garage setback for townhomes must be sufficient to accommodate a 20' long vehicle without extending over a sidewalk or street or alley.
10. Townhome driveways shall be separated by a landscape area to separate vehicles & define property boundaries.

BUILDING DESIGN/ARCHITECTURE

1. Townhomes : entrance to each unit must access a public sidewalk. Refer to landscape plans for proposed sidewalk locations.
2. Townhomes abutting a street shall have their main entry from that street. This applies to perimeter units on Parcels B-1 and B-3. Internal block units shall have their primary entrance off of the common greenspace with rear access from internal streets or alleys. Refer to enlarged landscape plans for graphic information.
3. Refer to parking notes above for single family home front entry garage requirements.
- ~~4. Townhouse and apartment unit preliminary layouts and dimensions used for this submittal shall be provided as supplemental documents at time of public hearing.~~
4. Standards for apartment mix are listed in tabular format on sheet za.02.
5. ~~Townhomes shall have a minimum of one enclosed garage space.~~ A minimum of one of the two required parking spaces occur within an enclosed garage space.
6. Single family residences shall have a minimum of two (2) enclosed garage spaces.

RECREATION

1. Parcel A: the edge of Heninger Lake shall be left undisturbed and vegetated. See notes on Sheet ZA.02 and ZA.03
2. Community Park (Parcel B-4): Community park shall be available to residents of all villages (A to B-6) to use, including any guest and/or residents at any hotel or living facility within Parcel B-5. Refer to Sheet enlarged plans for additional information (Sheet ZA.07 and ZA.08).
3. Development Agreement will include schedule for completion of parks and recreation facilities.

LANDSCAPE & BUFFER

1. A 6' high precast concrete wall with ledgerstone finish shall be placed within the landscape buffer next to the Clear Lake landings subdivision. All perimeter property separation walls to match.
2. Final recreation plan for each residential village shall be provided at the preliminary development plan.

FIRE DEPARTMENT NOTES

1. All roadways, water line infrastructure and fire hydrants shall be in place before building construction may begin.

3. Fire hydrant shall be marked with a blue road reflector.
4. Fire lanes shall be provided for the multi residential buildings.
5. All multi residential town homes or apartments must be equipped with fire sprinkler systems, and fire alarm systems meeting Florida fire prevention code.
6. Fire department connections (FDC) for sprinkler systems must be remote from the buildings with fire lanes.
7. If the development is gated, the gate shall be equipped with an opti-com type signaling device that is compatible with City of Apopka emergency vehicles. It must also be equipped with a yelp siren activation and gate code requested by the Fire Department.
8. Connector road to the north all the way to W. Orange Avenue shall meet City of Apopka standards to allow safe travel for fire apparatus.

PUBLIC SERVICES DEPARTMENT NOTES

1. Roads, driveways & roundabouts shall follow FDOT standards.
2. Utilities shall be coordinated with and provided by the city of Apopka.
3. Sanitation service shall be coordinated with and provided by the City of Apopka.
4. Single family and townhome sanitation service shall be via individual unit curbside waste bins per city schedule.
5. Apartment sanitation service shall be via roll-off bins located within an enclosed compactor bay on site. Apartment maintenance staff shall be responsible for transportation of trash from the apartment buildings to the compactors and coordinating pick up with the city sanitation department.
6. No trees or shrubs shall be planted within the road right of ways with contain city-maintained potable water, reclaimed water, stormwater or sewer mains.
7. Landscape and irrigation design shall be in accordance with the City of Apopka Ordinance 2069, adopted May 21, 2008 which establishes waterwise landscape and irrigation standards.

BUILDING DESIGN/ARCHITECTURE

1. Village structures shall be complimentary to but distinct from adjacent villages.
2. Building facades shall be varied in depth with multiple pitched roof heights to provide visual interest. Flat and/or mansard roofs shall not be permitted.
3. Facade materials shall be varied and may consist of stucco, horizontal siding, stone and/or brick veneer.
4. Color palettes shall be complimentary to but distinct from adjacent villages. Field colors and trim shall be distinct from one another.
5. Residential units shall have a useable front porch accessible from the sidewalk. Upper units at the apartments shall also have porches and/or useable outdoor seating areas located along the upper floor verandas.
6. A community clubhouse and resort style pool shall be located in the single family and townhome villages.
7. Two community clubhouses and resort style pools shall be located in the apartment village.

9. Community clubhouses shall be designed to accommodate persons with disabilities as required by the Florida building code and ADA, current enforced editions.
10. Access to community clubhouses shall be restricted to village residents and their guests.

BUILDING SETBACKS

1. SINGLE FAMILY RESIDENCES

FRONT YARD:	25' MINIMUM
SIDE YARD:	7.5' MINIMUM
REAR YARD:	20' MINIMUM
FRONT-FACING GARAGE:	30' MINIMUM

NOTES:

- Two story residences shall be set back an additional 2.5' from the side yard property lines.
- Front porches may encroach into the front yard setback no more than 5'.

2. TOWNHOMES

Front yard: 15' minimum, 17' to 20' shown on plan to public sidewalk where facing street

Front yard: 5' minimum to public sidewalk where facing central greenbelt face of bldg to face of bldg: 60' minimum where facing central greenbelt side yard between bldgs: 20' minimum

Garage driveway: 20' minimum to public sidewalk\edge of right of way

NOTES:

- Townhomes abutting the single family residential village shall be setback a minimum of 30' from the property line separating the two villages.
- A 6' high precast concrete wall with stone veneer shall be located along that property line. Refer to master plan & landscape plan for location
- Front porches at townhomes may not encroach into the front yard setback.

3. APARTMENTS

Front yard: 12' MINIMUM TO PUBLIC SIDEWALK WHERE FACING STREET

Side yard: NOT APPLICABLE

Face of bldg to face of bldg: 60' MINIMUM, 70' SHOWN ON PLAN WHERE FACING central greenspace

NOTES:

- Ground floor apartment units facing the street shall have usable front porches and entrances accessible from the public sidewalk.
- Units facing the central greenspace shall have usable porches accessible from common area walkways.
-
- Front porches at apartments may not encroach into the front yard setback or central greenspace setback.

LOT DIMENSIONS

1. SINGLE FAMILY RESIDENCES

INTERIOR LOTS: 70' X 120' (LIMITED TO 10% OF TOTAL LOTS)
75' X 110'
80' X 100'

CORNER LOTS: 75' X 110' MINIMUM

NOTES:

- Lot widths at internal blocks vary but must maintain minimum standards listed above.
- Lot configuration diagrams are located on Sheet ZA.12

2. TOWNHOMES

INTERIOR LOTS: 20' X 71' MINIMUM
END LOTS: 20'-4" WIDE X 71' DEEP TO ACCOMMODATE END

WALL THICKNESS.

NOTES:

- Common areas abutting the townhome lots shall be the responsibility of and maintained by the Village H.O.A.

UNIT SIZES

1. SINGLE FAMILY RESIDENCES

1,700 minimum sf livable area

2 enclosed parking spaces

2. TOWNHOMES

1,350 minimum sf livable area

1 enclosed parking space

3. APARTMENTS

1 BR UNIT: 750 minimum SF livable area

2 BR UNIT: 900 minimum SF livable area

3 BR UNIT: 1,050 minimum SF livable area

NOTES:

- See Sheet ZA.02 for parking table
- A list of luxury apartment features is included in the developer agreement.

ADDITIONAL NOTES

1. All residential units shall comply with fair housing act accessibility standards.

3. All single family and townhome units shall have a fair housing act compliant bath or 1/2 bath located on the ground floor of the unit.
4. All residential units shall laundry facilities located within the livable area.
5. Bicycles and or personal items other than outdoor furnishings and plants shall not be stored on porches. Bicycle racks shall be provided at community clubhouses, recreation areas and each apartment block.
6. Single family waste bins shall be stored either within each unit's garage or behind an opaque screen wall or fence located within the sideyard setback
7. Townhome waste bins shall be stored within each unit's garage or behind an opaque screen wall or fence located within the rear yard setback.
8. Apartment buildings shall have common trash rooms located within each building. Property management shall be responsible for transporting trash from each building to the compactor enclosure shown on the plans.

COMMUNITY PARK GUIDELINES

1. Park facilities shall meet ADA accessibility requirements.
2. Restrooms shall be provided for park users.
3. On-street parking is provided for park users. Additional parking pending. Refer to developer agreement for additional information.
4. Bicycle racks shall be provided. Number and location(s) to be determined at preliminary development plan.
5. Drinking fountains shall be provided. Number and locations to be determined at preliminary development plan.
6. Recreation facilities shown on plans are conceptual final facilities to be determined at preliminary development plan.
7. All development residents shall have shared-use access to the community park including flex zone Parcel B-5.

FLEX ZONE PARCEL B-5

1. 3 OPTIONS PROVIDED:

OPTION 1:	100 ROOM BOUTIQUE HOTEL
OPTION 2:	SENIOR HOUSING FACILITY
OPTION 3:	SCHOOL/DAYCARE FACILITY
2. Development standards to follow land development code.
3. Refer to adopting PUD zoning ordinance for additional information.

PROPOSED VILLAGE NAMES

PARCEL A	The Lakes at Avian Pointe
PARCEL B-1	North Mews at Avian Pointe
PARCEL B-2	The Commons at Avian Pointe
PARCEL B-3	South Mews at Avian Pointe
PARCEL B-4	Community park to be determined and submitted with preliminary development plan
PARCEL B-5 FLEX ZONE	To be determined and submitted with preliminary development plan

PROPOSED STREET NAMES (Information Only)

Street Names	Available		Alternate									Parcel
	Y	N	Blvd	Drive	Street	Avenue	Road	Lane	Court	Place	Way	
			Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	
Avian Pointe Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	N/S ROW
Clear Water Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	A
Bass Road		●	Y	N	N	Y		Y	Y	Y	Y	A
Bluegill Way	●		Y	Y	N	Y	Y	Y	Y	Y		A
Avian Way	●		Y	Y	Y	Y	Y	Y	Y	Y		B
Avian Terrace	●		Y	Y	Y	Y	Y	Y	Y	Y		B
Gallinule Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	B-1
Aythya Way	●		Y	Y	Y	Y	Y	Y	Y	Y		B-1
Anhingus Court	●		Y	Y	Y	Y	Y	Y		Y	Y	B-1
Harrier Court	●		Y	N	Y	Y	Y	Y		Y	Y	B-1
Blue Heron Way	●		Y	N	Y	Y	Y	Y	Y	Y		B-2
East Commons Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	B-2
West Commons Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	B-2
Egret Drive	●		Y		Y	Y	Y	Y	Y	Y	Y	B-3
Peregrine Court		●	Y	Y	Y	N	Y	Y		Y	Y	B-3
Ardea Court	●		Y	Y	Y	Y	Y	Y		Y	Y	B-3

All Street Names Deemed Available Per Orange County Master Street Address Guide As Of May 29, 2014

Orange County EMS Letter Pending

NOTES

1. Village names listed above are preliminary & subject to change pending preliminary site plan submittal.
2. Street names are preliminary & subject to change pending orange county availability and preliminary site plan submittal.

NOTE:

Development standards to follow land development code.

Refer to developer agreement for additional project information regarding development standards & guidelines.

PROPOSED VILLAGE NAMES

PARCEL A
PARCEL B-1
PARCEL B-2
PARCEL B-3
PARCEL B-4 COMMUNITY PARK
PARCEL B-5 FLEX ZONE

THE LAKES AT AVIAN POINTE
NORTH MEWS AT AVIAN POINTE
THE COMMONS AT AVIAN POINTE
SOUTH MEWS AT AVIAN POINTE
TO BE DETERMINED AND SUBMITTED WITH PRELIMINARY DEVELOPMENT PLAN

PROPOSED STREET NAMES

Street Names	Available										Alternate										Parcel
	Y	N	Blvd	Drive	Street	Avenue	Road	Lane	Court	Place	Way	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N	Y/N		
Avian Pointe Drive	?			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N/S ROW		
Clear Water Drive	?			Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	A		
Bass Road	?		Y		N	N	Y			Y	Y	Y	Y	Y	Y	Y	Y	Y	A		
Bluegill Way	?		Y	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	A		
Avian Way	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B		
Avian Terrace	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B		
Gallinule Drive	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-1		
Aythya Way	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-1		
Anhinga Court	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-1		
Harter Court	?		Y	N	Y	Y	Y	Y	Y		Y	Y	Y	Y	Y	Y	Y	Y	B-1		
Blue Heron Way	?		Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-2		
East Commons Drive	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-2		
West Commons Drive	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-2		
Egret Drive	?		Y		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-3		
Peregrine Court	?		Y	Y	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-3		
Andrea Court	?		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	B-3		

All Street Names Deemed Available Per Orange County Master Street Address Guide As Of May 29, 2014
Orange County EMS Letter Pending

NOTES

1. VILLAGE NAMES LISTED ABOVE ARE PRELIMINARY & SUBJECT TO CHANGE PENDING PRELIMINARY SITE PLAN SUBMITTAL.
2. STREET NAMES ARE PRELIMINARY & SUBJECT TO CHANGE PENDING ORANGE COUNTY AVAILABILITY & PRELIMINARY SITE PLAN SUBMITTAL.

BUILDING DESIGN/ARCHITECTURE

1. VILLAGE STRUCTURES SHALL BE COMPLEMENTARY TO BUT DISTINCT FROM ADJACENT VILLAGES.
2. BUILDING FACADES SHALL BE VARIED IN DEPTH WITH MULTIPLE PITCHED ROOF HEIGHTS TO PROVIDE VISUAL INTEREST, FLAT AND/OR MANSARD ROOFS SHALL NOT BE PERMITTED.
3. FACADE MATERIALS SHALL BE VARIED AND MAY CONSIST OF STUCCO, HORIZONTAL SIDING, STONE AND/OR BRICK VENEER.
4. COLOR PALETTES SHALL BE COMPLEMENTARY TO BUT DISTINCT FROM ADJACENT VILLAGES, FIELD COLORS & TRIM SHALL BE DISTINCT FROM ONE ANOTHER.
5. UNITS SHALL HAVE A USEABLE FRONT PORCH ACCESSIBLE FROM THE SIDEWALK, UPPER UNITS AT THE APARTMENTS SHALL ALSO HAVE PORCHES AND/OR USEABLE OUTDOOR SEATING AREAS LOCATED ALONG THE UPPER FLOOR VERANDAS.
6. A COMMUNITY CLUBHOUSE AND RESORT STYLE POOL SHALL BE LOCATED IN THE SINGLE FAMILY AND TOWNHOME VILLAGES.
7. TWO COMMUNITY CLUBHOUSES AND RESORT STYLE POOLS SHALL BE LOCATED IN THE APARTMENT VILLAGE.
8. COMMUNITY CLUBHOUSES SHALL BE EQUIPPED WITH RESTROOMS, COMMUNAL KITCHENS (INDOOR AND/OR OUTDOOR), SEATING AREAS AND EXERCISE AREAS.
9. COMMUNITY CLUBHOUSES SHALL BE DESIGNED TO ACCOMMODATE PERSONS WITH DISABILITIES AS REQUIRED BY THE FLORIDA BUILDING CODE AND ADA, CURRENT ENFORCED EDITIONS.
10. ACCESS TO COMMUNITY CLUBHOUSES SHALL BE RESTRICTED TO VILLAGE RESIDENTS AND THEIR GUESTS.

BUILDING SETBACKS

1. SINGLE FAMILY RESIDENCES
FRONT YARD: 27' MINIMUM
SIDE YARD: 7.5' MINIMUM
REAR YARD: 20' MINIMUM
FRONT-FACING GARAGE: 30' MINIMUM
NOTES:
• TWO STORY RESIDENCES SHALL BE SET BACK AN ADDITIONAL 2.5' FROM THE SIDE YARD PROPERTY LINES.
• FRONT PORCHES MAY ENCROACH INTO THE FRONT YARD SETBACK NO MORE THAN 5'.
2. TOWNHOMES
FRONT YARD: 15' MINIMUM, 17' TO 20' SHOWN ON PLAN TO PUBLIC SIDEWALK WHERE FACING STREET
FRONT YARD: 5' MINIMUM TO PUBLIC SIDEWALK WHERE FACING CENTRAL GREENBELT
FACE OF BLDG TO FACE OF BLDG: 60' MINIMUM WHERE FACING CENTRAL GREENBELT
SIDE YARD BETWEEN BLDGS: 20' MINIMUM
GARAGE DRIVEWAY: 20' MINIMUM TO PUBLIC SIDEWALK/EDGE OF RIGHT OF WAY
NOTES:
• TOWNHOMES ABUTTING THE SINGLE FAMILY RESIDENTIAL VILLAGE SHALL BE SETBACK A MINIMUM OF 30' FROM THE PROPERTY LINE SEPARATING THE TWO VILLAGES.
• A 6" HIGH PRECAST CONCRETE WALL WITH STONE VENEER SHALL BE LOCATED ALONG THAT PROPERTY LINE, REFER TO MASTER PLAN & LANDSCAPE PLAN FOR LOCATION
• FRONT PORCHES AT TOWNHOMES MAY NOT ENCROACH INTO THE FRONT YARD SETBACK.
3. APARTMENTS
FRONT YARD: 12' MINIMUM TO PUBLIC SIDEWALK WHERE FACING STREET
SIDE YARD: NOT APPLICABLE
FACE OF BLDG TO FACE OF BLDG: 60' MINIMUM, 70' SHOWN ON PLAN WHERE FACING CENTRAL GREENSPACE
NOTES:
• GROUND FLOOR APARTMENT UNITS FACING THE STREET SHALL HAVE USABLE FRONT PORCHES AND ENTRANCES ACCESSIBLE FROM THE PUBLIC SIDEWALK.
• UNITS FACING THE CENTRAL GREENSPACE SHALL HAVE USABLE PORCHES ACCESSIBLE FROM COMMON AREA WALKWAYS.
• FRONT PORCHES AT APARTMENTS MAY NOT ENCROACH INTO THE FRONT YARD SETBACK OR CENTRAL GREENSPACE SETBACK.
LOT DIMENSIONS
1. SINGLE FAMILY RESIDENCES
INTERIOR LOTS: 70' X 120' (LIMITED TO 10% OF TOTAL LOTS)
75' X 110'
80' X 100'
CORNER LOTS: 75' X 110' MINIMUM
NOTES:
• LOT WIDTHS AT INTERNAL BLOCKS VARY BUT MUST MAINTAIN MINIMUM STANDARDS LISTED ABOVE.
• LOT CONFIGURATION DIAGRAMS ARE LOCATED ON SHEET ZA-12
2. TOWNHOMES
INTERIOR LOTS: 20' X 71' MINIMUM
END LOTS: 20'-4" WIDE X 71' DEEP TO ACCOMMODATE END WALL THICKNESS.
NOTES:
• COMMON AREAS ABUTTING THE TOWNHOME LOTS SHALL BE THE RESPONSIBILITY OF AND MAINTAINED BY THE VILLAGE H.O.A.
UNIT SIZES
1. SINGLE FAMILY RESIDENCES
1,700 MINIMUM SF LIVABLE AREA
2 ENCLOSED PARKING SPACES
2. TOWNHOMES
1,350 MINIMUM SF LIVABLE AREA
1 ENCLOSED PARKING SPACE
3. APARTMENTS
1 BR UNIT: 750 MINIMUM SF LIVABLE AREA
2 BR UNIT: 900 MINIMUM SF LIVABLE AREA
3 BR UNIT: 1,050 MINIMUM SF LIVABLE AREA
NOTES:
• SEE SHEET ZA-02 FOR PARKING TABLE
• A LIST OF LUXURY APARTMENT FEATURES IS INCLUDED IN THE DEVELOPER AGREEMENT EXHIBIT 17 FOR THIS PROJECT.
ADDITIONAL NOTES
1. ALL RESIDENTIAL UNITS SHALL COMPLY WITH FAIR HOUSING ACT ACCESSIBILITY STANDARDS.
2. A MINIMUM OF 5% OF THE APARTMENT UNITS SHALL BE DESIGNED TO COMPLY WITH ADA STANDARDS.
3. ALL SINGLE FAMILY AND TOWNHOME UNITS SHALL HAVE A FAIR HOUSING ACT COMPLAINT BATH OR 1/2 BATH LOCATED ON THE GROUND FLOOR OF THE UNIT.
4. ALL RESIDENTIAL UNITS SHALL LAUNDRY FACILITIES LOCATED WITHIN THE LIVABLE AREA.
5. BICYCLES AND OR PERSONAL ITEMS OTHER THAN OUTDOOR FURNISHINGS AND PLANTS SHALL NOT BE STORED ON PORCHES, BICYCLE RACKS SHALL BE PROVIDED AT COMMUNITY CLUBHOUSES, RECREATION AREAS AND EACH APARTMENT BLOCK.
6. SINGLE FAMILY WASTE BINS SHALL BE STORED EITHER WITHIN EACH UNIT'S GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE SIDEYARD SETBACK
7. TOWNHOME WASTE BINS SHALL BE STORED WITHIN EACH UNIT'S GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE REAR YARD SETBACK.
8. APARTMENT BUILDINGS SHALL HAVE COMMON TRASH ROOMS LOCATED WITHIN EACH BUILDING. PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TRANSPORTING TRASH FROM EACH BUILDING TO THE COMPACTOR ENCLOSURE SHOWN ON THE PLANS.
COMMUNITY PARK GUIDELINES
1. PARK FACILITIES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
2. RESTROOMS SHALL BE PROVIDED FOR PARK USERS.
3. ON-STREET PARKING IS PROVIDED FOR PARK USERS, ADDITIONAL PARKING PENDING, REFER TO DEVELOPER AGREEMENT FOR ADDITIONAL INFORMATION.
4. BICYCLE RACKS SHALL BE PROVIDED, NUMBER AND LOCATIONS TO BE DETERMINED AT PRELIMINARY DEVELOPMENT PLAN.
5. DRINKING FOUNTAINS SHALL BE PROVIDED, NUMBER & LOCATIONS TO BE DETERMINED AT PRELIMINARY DEVELOPMENT PLAN.
6. RECREATION FACILITIES SHOWN ON PLANS ARE CONCEPTUAL FINAL FACILITIES TO BE DETERMINED AT PRELIMINARY DEVELOPMENT PLAN.
7. ALL DEVELOPMENT RESIDENTS SHALL HAVE SHARED-USE ACCESS TO THE COMMUNITY PARK INCLUDING FLEX ZONE PARCEL B-5.
FLEX ZONE PARCEL B-5
1. 3 OPTIONS PROVIDED:
OPTION 1: 100 ROOM BOUTIQUE HOTEL
OPTION 2: SENIOR HOUSING FACILITY
OPTION 3: SCHOOL/DAYCARE FACILITY
2. DEVELOPMENT STANDARDS TO FOLLOW LAND DEVELOPMENT CODE.
3. REFER TO DEVELOPER AGREEMENT FOR ADDITIONAL INFORMATION.

COMMUNITY DESIGN

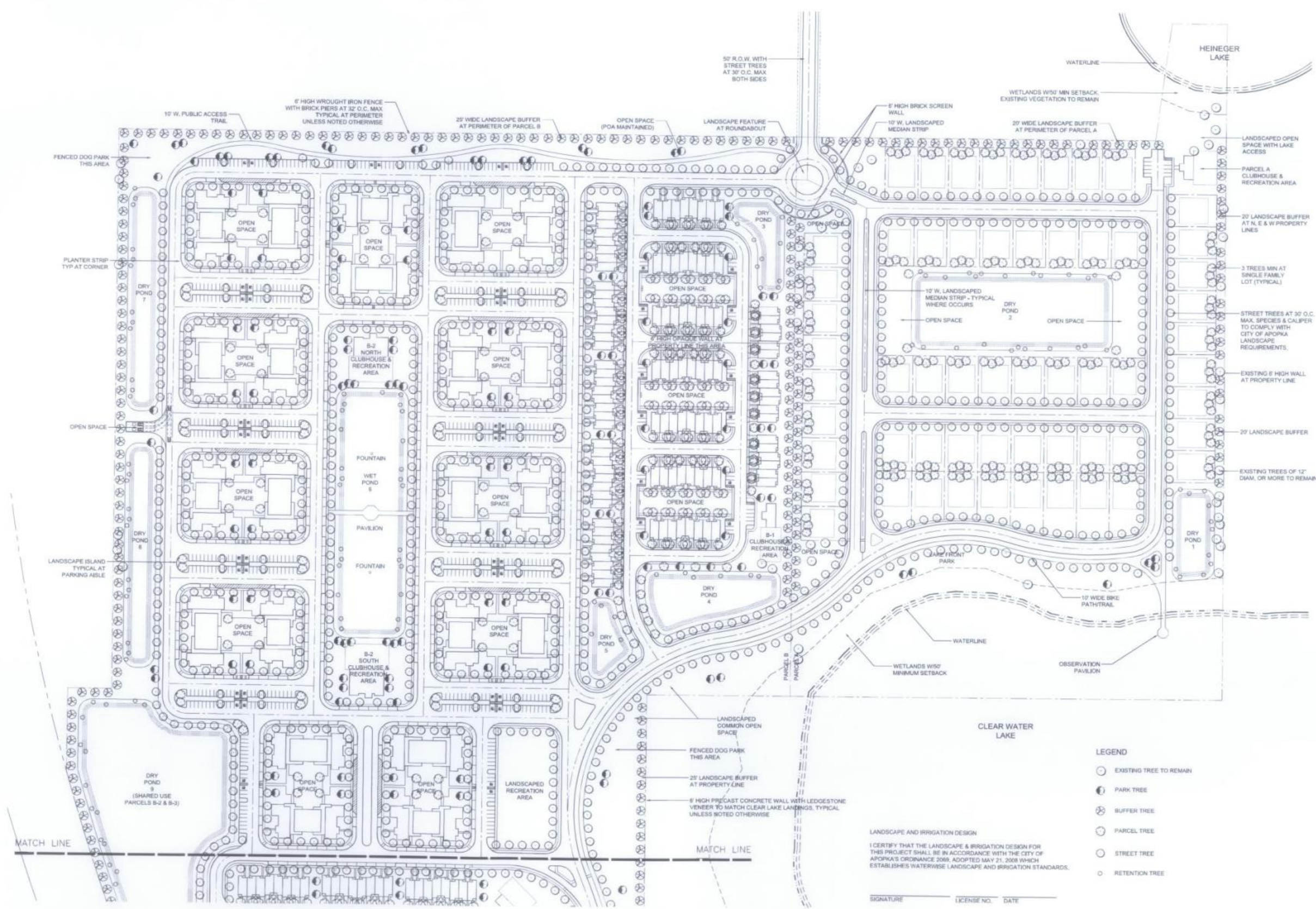
1. NORTHERN & SOUTHERN ENTRANCE FEATURE DESIGNS & LANDSCAPING WILL BE PROVIDED AT THE PRELIMINARY DEVELOPMENT PLAN.
2. POSTAL SERVICE:
PARCEL A SERVICE SHALL BE VIA INDIVIDUAL MAILBOXES LOCATED IN THE LANDSCAPE STRIP ABUTTING THE STREET. MAILBOXES SHALL BE UNIFORM IN DESIGN & COLOR AND OVERSEEN BY THE HOMEOWNERS ASSOCIATION.
PARCELS B-1, B-2 & B3 SHALL HAVE USPS/ADA APPROVED MAIL KIOSKS AS SHOWN ON THE ENLARGED MASTER PLAN. THESE KIOSKS SHALL BE LOCATED ON PAVED AREAS WITH SUFFICIENT MANUEVERING/CLEARANCES & PROPER GRADIN TO ACCOMMODATE BOTH MAIL CARRIERS & PERSONS WITH DISABILITIES. A LETTER FROM THE APOPKA USPS SHALL BE REQUIRED PRIOR TO APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN.
3. PUBLIC & PRIVATE ROADS ARE CALLED OUT ON THE ENLARGED MASTER PLAN SHEETS. A LIST OF POTENTIAL STREET NAMES IS INCLUDED IN THIS DOCUMENT SET. FINAL STREET NAMES SHALL BE SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLAN.
4. FENCED DOG PARKS: (2) FENCED DOG PARKS ARE NOTED ON THE PLANS, ONE IS LOCATED AT THE NORTHWEST CORNER OF THE APARTMENT COMPLEX PARCEL, THE SECOND IS CALLED OUT WITHIN THE B PARCEL P.O.A. AREA ADJACENT TO THE NORTHWEST CORNER OF CLEAR LAKE COMMONS W/ NO ADJACENT RESIDENTIAL LOTS WITHIN THAT DEVELOPMENT. DELINEATED DOGPARK PLANS SHALL BE SUBMITTED WITH THE PRELIMINARY DEVELOPMENT PLAN.
5. A LIST OF POTENTIAL VILLAGE OR NEIGHBORHOOD NAMES SHALL BE INCLUDED WITH THE PRELIMINARY SITE PLAN, EACH VILLAGE WILL BE NAMED 'XXXX' AT AVIAN POINTE.
6. COMMUNITY SIGNAGE WILL BE UNIFORM, DEVELOPED, SUBMITTED & APPROVED PER CITY OF APOPKA SIGNAGE STANDARDS AT THE PRELIMINARY SITE PLAN.
7. COMMUNITY STREET LIGHTING WILL BE UNIFORM, SELECTED, SUBMITTED & APPROVED PER CITY OF APOPKA STREET LIGHTING STANDARDS AT THE PRELIMINARY SITE PLAN.
PARKING
1. SEE SHEET ZA-02 FOR PARKING SUMMARY TABLE.
2. ON STREET PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9' WIDE X 22' IN LENGTH.
3. HEAD-IN, 90° STANDARD PARKING SPACES SHALL BE A MINIMUM OF 9' WIDE X 18' IN LENGTH.
4. HEAD-IN 90° STANDARD PARKING SPACES AT DORDENAL B-2 PARKING ASILES MAY BE DECREASED TO 9' WIDE X 16' DEEP TO INCREASE LANDSCAPED MEDIAN PER CITY OF APOPKA LDC.
5. HEAD-IN 90° ADA PARKING SPACES SHALL BE A MINIMUM OF 12' WIDE X 18' LONG & MEET BOTH FLORIDA BUILDING CODE & FEDERAL ADA STANDARDS. A 5' WIDE ACCESSIBLE SPACE SHALL BE REQUIRED AT EACH ADA PARKING SPACE, EACH SPACE SHALL BE MARKED WITH THE UNIVERSAL ADA SYMBOL, & BE PROVIDED WITH APPROPRIATE SIGNAGE IN ACCORDANCE WITH CODE REQUIREMENTS.
6. COMPACT SPACES ARE NOT ALLOWED.
7. GARAGE SETBACKS:
PARCEL A: 30' MINIMUM CLEAR DRIVEWAY DEPTH TO RIGHT OF WAY SIDEWALK.
PARCELS B-1 & B-3: 20' MIN CLEAR DRIVEWAY DEPTH TO RIGHT OF WAY SIDEWALK.
8. FRONT ENTRY GARAGE MINIMUM SETBACK FOR SINGLE FAMILY HOMES IS 30' PER DEVELOPMENT DESIGN GUIDELINES.
9. GARAGE SETBACK FOR TOWNHOMES MUST BE SUFFICIENT TO ACCOMMODATE A 20' LONG VEHICLE WITHOUT EXTENDING OVER A SIDEWALK OR STREETALLEY.
10. TOWNHOME DRIVEWAYS SHALL BE SEPARATED BY A LANDSCAPE AREA TO SEPARATE VEHICLES & DEFINE PROPERTY BOUNDARIES.
BUILDING DESIGN/ARCHITECTURE
1. TOWNHOMES: ENTRANCE TO EACH UNIT MUST ACCESS A SIDEWALK, REFER TO LANDSCAPE PLANS FOR PROPOSED SIDEWALK LOCATIONS.
2. TOWNHOMES ABUTTING A STREET SHALL HAVE THEIR MAIN ENTRY FROM THAT STREET. THIS APPLIES TO PERIMETER UNITS ON PARCELS B-1 & B-3. INTERNAL BLOCK UNITS SHALL HAVE THEIR PRIMARY ENTRANCE OFF OF THE COMMON GREENSPACE WITH REAR ACCESS FROM INTERNAL STREET/ALLEYS. REFER TO ENLARGED LANDSCAPE PLANS FOR GRAPHIC INFORMATION.
3. REFER TO PARKING NOTES ABOVE FOR SINGLE FAMILY HOME FRONT ENTRY GARAGE REQUIREMENTS.
4. TOWNHOUSE & APARTMENT UNIT PRELIMINARY LAYOUTS & DIMENSIONS USED FOR THIS SUBMITTAL SHALL BE PROVIDED AS SUPPLEMENTAL DOCUMENTS AT TIME OF PUBLIC HEARING.
5. STANDARDS FOR APARTMENT MIX ARE LISTED IN TABULAR FORMAT ON SHEET ZA-02.
6. TOWNHOMES SHALL HAVE A MINIMUM OF ONE ENCLOSED GARAGE SPACE.
7. SINGLE FAMILY RESIDENCES SHALL HAVE A MINIMUM OF 2 ENCLOSED GARAGE SPACES.
RECREATION
1. PARCEL A: THE EDGE OF HENRIDER LAKE SHALL BE LEFT UNDISTURBED & VEGETATED. SEE NOTES ON SHEET ZA-02 & ZA-03.
2. COMMUNITY PARK (PARCEL B-4):
3. COMMUNITY PARK SHALL BE AVAILABLE TO RESIDENTS OF ALL VILLAGES (A TO B-4) TO USE, INCLUDING ANY GUEST AND/OR RESIDENTS AT ANY HOTEL OR LIVING FACILITY WITHIN PARCEL B-5. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.
LANDSCAPE & BUFFER
1. A 6" HIGH PRECAST CONCRETE WALL WITH LEDGESTONE FINISH SHALL BE PLACED WITHIN THE LANDSCAPE BUFFER NEXT TO THE CLEAR LAKE LANDINGS SUBDIVISION. ALL PERIMETER PROPERTY SEPARATION WALLS TO MATCH.
2. FINAL RECREATION PLAN FOR EACH RESIDENTIAL VILLAGE SHALL BE PROVIDED AT THE PRELIMINARY DEVELOPMENT PLAN.
FIRE DEPARTMENT NOTES
1. All roadways, water line infrastructure and fire hydrants shall be in place before building construction may begin.
2. Fire hydrants must be within 500 feet of each home.
3. Fire hydrant shall be marked with a blue road reflector.
4. Fire Lanes shall be provided for the multi residential buildings.
5. All multi residential town homes or apartments must be equipped with fire sprinkler systems, and fire alarm systems meeting Florida Fire Prevention code.
6. Fire Department Connections (FDC) for sprinkler systems must be remote from the buildings with fire lanes.
7. If the development is gated, the gate shall be equipped with an Opti-Com type signaling device that is compatible with City of Apopka emergency vehicles. It must also be equipped with a Telp siren activation and gate code requested by the Fire Department.
8. Connector road to the north all the way to Orange Avenue shall meet City of Apopka standards to allow safe travel for fire apparatus.
PUBLIC SERVICES DEPARTMENT NOTES
1. ROADS, DRIVEWAYS & ROUNDABOUTS SHALL FOLLOW FDOT STANDARDS.
2. UTILITIES SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA.
3. SANITATION SERVICE SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA.
4. SINGLE FAMILY & TOWNHOME SANITATION SERVICE SHALL BE VIA INDIVIDUAL UNIT CURBSIDE WASTE BINS PER CITY SCHEDULE.
5. APARTMENT SANITATION SERVICE SHALL BE VIA ROLL-OFF BINS LOCATED WITHIN AN ENCLOSED COMPACTOR BAY ON SITE. APARTMENT MAINTENANCE STAFF SHALL BE RESPONSIBLE FOR TRANSPORTATION OF TRASH FROM THE APARTMENT BUILDINGS TO THE COMPACTORS AND COORDINATING PICK UP WITH THE CITY SANITATION DEPARTMENT.
6. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN THE ROAD RIGHT OF WAYS WITH CONTAIN CITY-MAINTAINED POTABLE WATER, RECLAIMED WATER, STORMWATER OR SEWER MAINS.
7. LANDSCAPE & IRRIGATION DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA ORDINANCE 2069, ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE & IRRIGATION STANDARDS.

NOTE:
• DEVELOPMENT STANDARDS TO FOLLOW LAND DEVELOPMENT CODE.
• REFER TO DEVELOPER AGREEMENT FOR ADDITIONAL PROJECT INFORMATION REGARDING DEVELOPMENT STANDARDS & GUIDELINES.

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

HOLLY SWANSON
ARCHITECT, AIA
6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572
813-465-1095
FL LICENSE NO. AR92665
CONSULTING ENGINEER:
ERIC J HENDRA, P.E.
ENDRA
& associates, inc.
PROJECT INFORMATION:
AVIAN POINTE
(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
(SINGLE FAMILY TO MIXED USE)
2771 LUST ROAD
APOPKA, FLORIDA

ISSUE:
DATE: REV: DESCRIPTION:
3/24/14 CITY REVIEW
3/26/14 CITY SUBMITTAL 1
5/30/14 CITY SUBMITTAL 2
6/12/14 REVISION 1
4/27/15 REVISION 2
SEAL:
SHEET NUMBER:
ZA.02A
PROJECT NUMBER: 14-001
DATE: 4-27-15
DRAWN BY: HS



6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AR92665

CONSULTING ENGINEER:

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HENDRA & associates, inc.

PROJECT INFORMATION:

AVIAN POINTE
(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
(SINGLE FAMILY TO MIXED USE)

2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1" = 100'

ISSUE:

DATE	REV.	DESCRIPTION
3/24/14		CITY REVIEW
3/28/14		CITY SUBMITAL 1
5/30/14		CITY SUBMITAL 2
6/12/14	1	REVISION 1
4/27/15	2	REVISION 2

SEAL:

SHEET NUMBER:

ZA.05

PROJECT NUMBER: 14-001

DATE: 4-27-15

DRAWN BY: HS

LANDSCAPE PLAN - SHEET 2 OF 2

HOLLY SWANSON
ARCHITECT, AIA

6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AR92665

CONSULTING ENGINEER:

ERIC J. HENDRA, P.E.



PROJECT INFORMATION:

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(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
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2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1" = 100'

ISSUE:

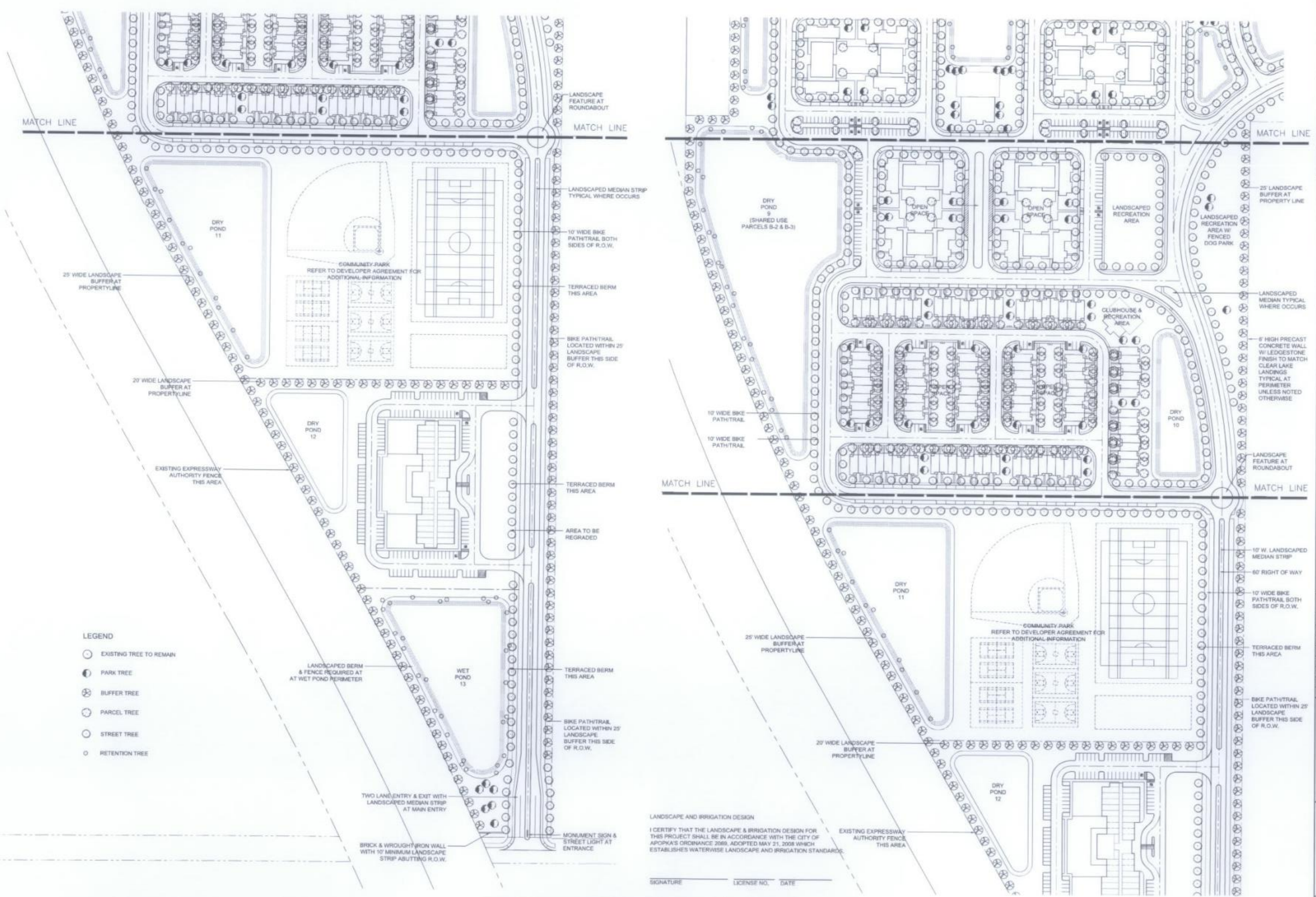
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3/24/14		CITY REVIEW
3/28/14		CITY SUBMITTAL 1
5/30/14		CITY SUBMITTAL 2
6/12/14	1	REVISION 1
4/27/15	2	REVISION 2

SEAL:

SHEET NUMBER:

ZA.06

PROJECT NUMBER: 14-001
DATE: 4-27-15
DRAWN BY: HS



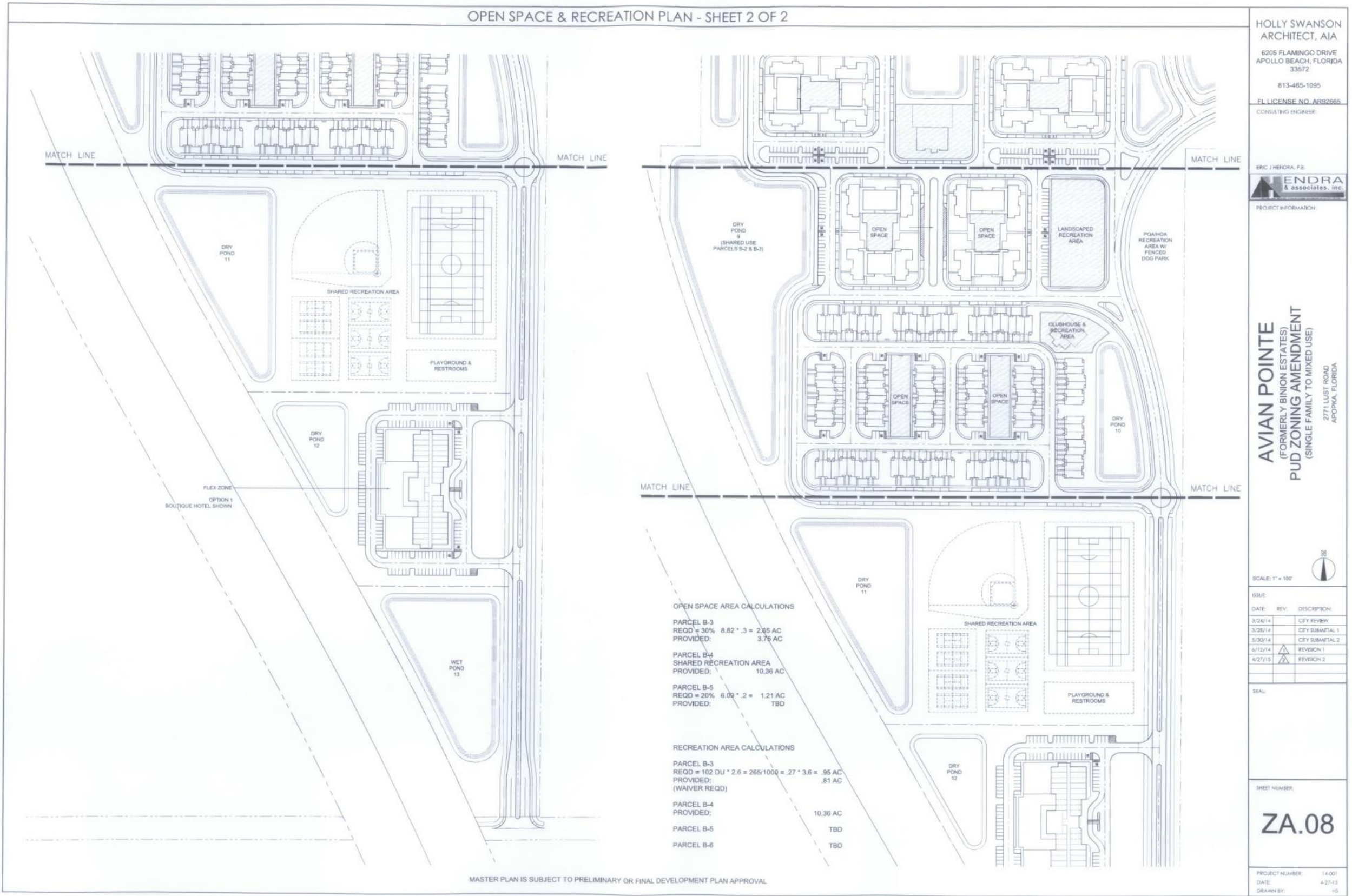
LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE & IRRIGATION DESIGN FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009, ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ LICENSE NO. _____ DATE _____

MASTER PLAN IS SUBJECT TO PRELIMINARY OR FINAL DEVELOPMENT PLAN APPROVAL

OPEN SPACE & RECREATION PLAN - SHEET 2 OF 2



HOLLY SWANSON
ARCHITECT, AIA
6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AR92665

CONSULTING ENGINEER:

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& associates, inc.

PROJECT INFORMATION:

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(SINGLE FAMILY TO MIXED USE)
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APOPKA, FLORIDA

SCALE: 1" = 100'

DATE	REV.	DESCRIPTION
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3/26/14		CITY SUBMITTAL 1
5/30/14		CITY SUBMITTAL 2
6/12/14	Δ	REVISION 1
4/27/15	Δ	REVISION 2


SEAL:

SHEET NUMBER:


ZA.08

PROJECT NUMBER: 14-001
DATE: 4-27-15
DRAWN BY: HG


PROTOTYPE MULTI-FAMILY APARTMENT BUILDING ELEVATIONS




BLDG 'A2' FRONT ELEVATION



BLDG 'A2' REAR ELEVATION



BLDG 'A1' FRONT ELEVATION



BLDG 'A1' REAR ELEVATION

ELEVATIONS ARE PRELIMINARY & SUBJECT TO CHANGES PENDING ZONING AMENDMENT APPROVAL, ARCHITECTURAL & CIVIL ENGINEERING REFINEMENTS.

ELEVATIONS ARE PRELIMINARY & SUBJECT TO CHANGES PENDING ZONING AMENDMENT APPROVAL, ARCHITECTURAL & CIVIL ENGINEERING REFINEMENTS.

HOLLY SWANSON
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33572
813-465-1095
FL LICENSE NO. AR92665
CONSULTING ENGINEER:

ERIC J. HENDRA, P.E.
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PROJECT INFORMATION:

AVIAN POINTE
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(SINGLE FAMILY TO MIXED USE)
2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1/16" = 1'-0"

DATE	REV.	DESCRIPTION
3/24/14		CITY REVIEW
3/25/14		CITY SUBMITTAL 1
5/30/14		CITY SUBMITTAL 2
6/12/14	△	REVISION 1
4/27/15	△	REVISION 2

SEAL:

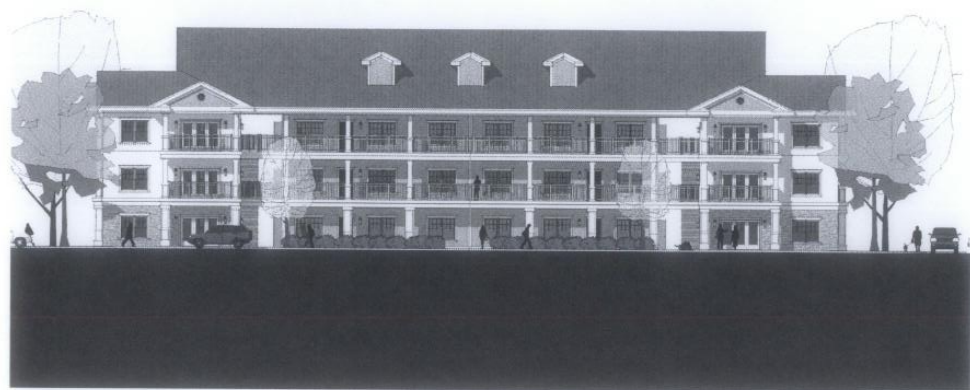
SHEET NUMBER:

ZA.09

PROJECT NUMBER: 14-001
DATE: 4-27-15
DRAWN BY: HS

78

PROTOTYPE MULTI-FAMILY APARTMENT BUILDING ELEVATIONS

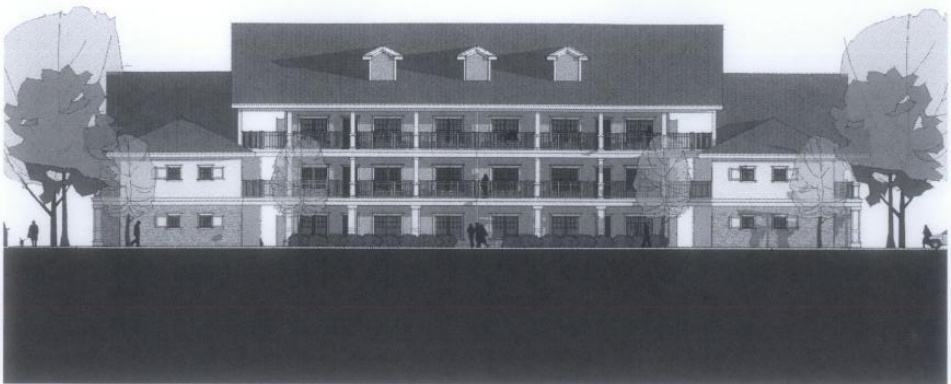


BLDG 'B2' FRONT ELEVATION



BLDG 'B2' REAR ELEVATION

ELEVATIONS ARE PRELIMINARY & SUBJECT TO CHANGES PENDING ZONING AMENDMENT APPROVAL, ARCHITECTURAL & CIVIL ENGINEERING REFINEMENTS.



BLDG 'B1' FRONT ELEVATION



BLDG 'B1' REAR ELEVATION

ELEVATIONS ARE PRELIMINARY & SUBJECT TO CHANGES PENDING ZONING AMENDMENT APPROVAL, ARCHITECTURAL & CIVIL ENGINEERING REFINEMENTS.

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APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AB92665

CONSULTING ENGINEER:

ERIC J HENDRA, P.E.

HENDRA
& associates, inc.

PROJECT INFORMATION:

AVIAN POINTE
(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
(SINGLE FAMILY TO MIXED USE)

2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1/16" = 1'-0"

ISSUE:

DATE: REV: DESCRIPTION:

3/24/14 CITY REVIEW

3/26/14 CITY SUBMITTAL 1

5/30/14 CITY SUBMITTAL 2

6/12/14 REVISION 1

4/27/15 REVISION 2

SEAL:

SHEET NUMBER:

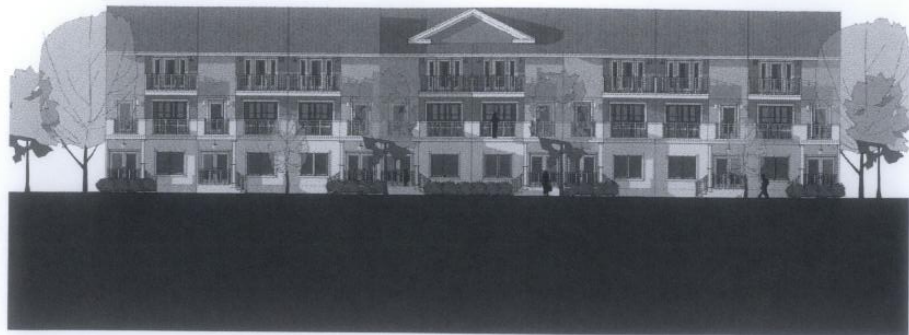
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PROJECT NUMBER: 14-001

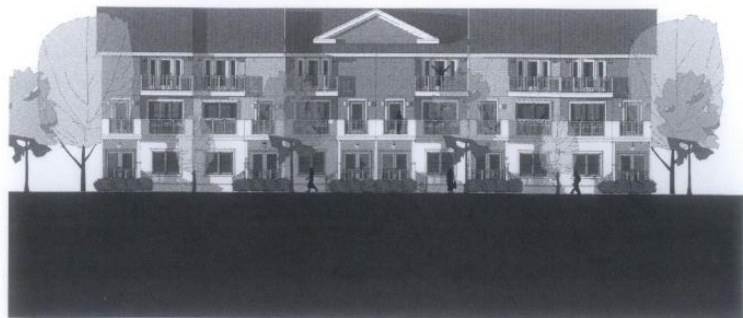
DATE: 4-27-15

DRAWN BY: HS

PROTOTYPE MULTI-FAMILY TOWNHOUSE ELEVATIONS



8 UNIT FRONT ELEVATION



6 UNIT FRONT ELEVATION



8 UNIT REAR ELEVATION



6 UNIT REAR ELEVATION



IMAGERY
LITTLE HARBOR, RUSKIN FL

ELEVATIONS ARE PRELIMINARY & SUBJECT TO CHANGES PENDING ZONING AMENDMENT APPROVAL, ARCHITECTURAL & ENGINEERING REFINEMENTS.

HOLLY SWANSON
ARCHITECT, AIA
6205 FLAMINGO DRIVE
APOLLO BEACH, FLORIDA
33572

813-465-1095

FL LICENSE NO. AR92665

CONSULTING ENGINEER:

ERIC J HENDRA, P.E.

HENDRA
& associates, inc.

PROJECT INFORMATION:

AVIAN POINTE
(FORMERLY BINION ESTATES)
PUD ZONING AMENDMENT
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2771 LUST ROAD
APOPKA, FLORIDA

SCALE: 1/16" = 1'-0"

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6/12/14	△	REVISION 1
4/27/15	△	REVISION 2

SEAL:

SHEET NUMBER:

ZA.11

PROJECT NUMBER: 14-001
DATE: 4-27-15
DRAWN BY: HS

FLEX SPACE PERMITTED USES – PARCEL B-5

Flex Space Permitted Uses. The following land uses are permissible uses within the Flex space area (Phase B-5): [a. Boutique Hotel. The Hotel shall not exceed 100 rooms and all rooms must have entry only through the interior of the hotel building. A restaurant is allowed at the hotel but must be interior to the hotel or connected by a covered walkway. Restaurant facilities must be managed or leased by the hotel owner. The boutique hotel shall demonstrate character and attributes common to the definition of such hotels and shall be furnished in a themed, stylish and/or aspirational manner.

b. School. A public or private school serving school age children from grades kindergarten (including pre-school) to 12th grade. In the event that the Flex Space Phase is developed as a school use, the Master Association shall enter into a shared use agreement with the owner of the school property to enable the school to utilize a portion of the Recreational Area Phase during normal school hours. Such use agreement shall set forth an obligation of the owner of the school property to participate in the maintenance costs of the Shared Recreational Area Phase (Parcel B-4) on a fair share basis to be agreed upon between the parties. The shared use agreement shall ensure that residents of the Avian Pointe community remain to have reasonable use of the Shared Recreation Area.

c. Day care, adult or child.

d. Assisted Living Facility or Senior Housing.

e. Residential. The City and the Developer agree that in the event nonresidential development does not occur on the Flex Space area, Developer shall be permitted to convert the flex space to develop up to a maximum of sixty (60) townhome units on the Flex Space area to the extent and limited to a maximum residential density of ten (10) units per acres for the entire area of the Avian Pointe Master Plan assigned a Residential Medium Density Future Land Use Designation and subject to compliance with all school concurrency requirements and the City's Land Development Code. Conversion of the Flex Space area to residential townhomes shall not occur until after 650 residential units have been constructed within Avian Pointe or five (5) years from the completion of the Spine Road, whichever occurs first. Conversion may include residential apartments above first-floor professional or business office uses consistent with Section 9(f) below. Residential buildings within parcel B-5 nearest the Spine Road or the northern private road shall be have the front facade oriented to the street with the primary entrance connected to the street sidewalk and to the perimeter of the Parcel. Parking shall be behind residential buildings screened from S.R. 429 or the PUD roads. Residential buildings nearest the Spine Road shall be limited to two stories and a height of thirty-five (35) feet.

f. Vertical Mixed Use Buildings. Professional or business office on the first floor and apartments on the upper floors. A maximum of sixty (60) apartment units are allowed. A professional or business office unit shall not exceed 2,500 square feet.

G. Any residential development within the Flex Use Area must satisfy any applicable school concurrency requirements prior to submittal of a preliminary or final development plan.

Backup material for agenda item:

6. CHANGE OF ZONING/MASTER PLAN & PRELIMINARY DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E. – from R-3 (Residential) and C-1 (Commercial) to Planned Unit Development (R-3/C-1) for property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: May 12, 2015
FROM: Community Development
EXHIBITS: Zoning Report
Support Maps
Master Plan Sheet
Dev. Design Standards
Landscape Plan
Architectural Renderings
Color Photo

SUBJECT: CHANGE OF ZONING - MASTER PLAN\PRELIMINARY DEVELOPMENT PLAN – MARDEN RIDGE APARTMENTS, PHASE 1B OWNED BY MMI DEVELOPMENT, INC.

PARCEL ID NUMBER: 17-21-28-0000-00-029

Request: CHANGE OF ZONING
FROM: R-3 (RESIDENTIAL) & C-1 (COMMERCIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD/R-3/C-1)

SUMMARY

OWNERS: Emerson Point Associates, LLLP

APPLICANT: MMI Development, Inc., c/o Michael E. Wright, Esq.

ENGINEER: GAI Consultants, Inc., c/o Anthony Call, P.E.

LOCATION: Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway (S.R. 414)

EXISTING USE: Planted Pine

FLUM DESIGNATION: Commercial (6.43 acres); Residential High Density (0 – 15 un\ac) (18.05 ac)

CURRENT ZONING: R-3 and C-1

PROPOSED DEVELOPMENT: Apartment (272 units/5 buildings- density 15 du/ac) and Retail Commercial

PROPOSED ZONING: Planned Unit Development (PUD/R-3/C-1)

TRACT SIZE: Apartments: 18.05 +/- Acres
Retail Commercial: 6.43 +/- Acres
42.17 +/- Total Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 536 Res. Units (35.74 ac)
PROPOSED: 272 Res. Units (Phase 1B) on 18.05 ac

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)

Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: The Marden Ridge Master Plan contains a total of 42.17 acres, of which 35.74 acres is currently assigned an R-3 zoning category and 6.43 acres is assigned a C-1 commercial zoning category. The developer proposes to construct 272 residential apartments (15 du/ac) on 18.05 acres of the 35.74 residential acres. Development of the remaining 17.69 acres of residential land will occur at a later date through a separate Preliminary Development Plan application, as will development of the 6.43 acres of land assigned the C-1 commercial zoning category. An outline of the proposed development profile for the Phase 1B apartments is as follows:

Apartment Units:	272
Units by # of Bedrooms	
One Bedroom:	56
Two Bedroom:	176
Three Bedroom:	40
Maximum Building Height:	40 feet
Maximum No. of Stories:	4
Parking Spaces	
Standard Spaces:	522
A.D.A. Accessible Spaces:	11
Total Spaces:	544
Park and Open Space	
Open Space:	30.1 %
Park Area:	2.98 ac

Development Standards are provided in the exhibits. Sheet C2.10 of the Master Site Plan shall be consistent with the Exhibit.

The subject property was annexed into the City of Apopka on September 5, 2007, through the adoption of Ordinance No. 1975. The proposed Change of Zoning is being requested by the property owner. Phase 1B of the Marden Ridge Master Plan\ Preliminary Development Plan comprises the apartment complex (18.05 acres); Phase 1A is the mass grading plan. The commercial phase and the northern residential phase will be approved under a separate preliminary development plan. An amendment to the Master Site Plan for the future residential and commercial will not be necessary.

A request to assign a zoning designation of PUD/R-1/C-1 is compatible with the designations assigned to abutting properties. The zoning application covers approximately 42.17 +/- acres. The property owner intends to use the site for apartments (272 units in 5 buildings) and retail commercial.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential High Land Use designation and the City's proposed Planned Unit Development (PUD/R-3/C-1) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Staff has notified Orange County Public Schools (OCPS) of the proposed Zoning Map Amendment. Prior to submittal of a final development plan application, the applicant must obtain a school capacity enhancement or mitigation agreement from OCPS. Located served by the following schools: Wheatley Elementary School, Wolf Lake Middle School, and Apopka High School.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on April 22, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission (5:01 pm)

May 20, 2015- City Council (7:00 pm) - 1st Reading

June 3, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification

May 22, 2015 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from R-3 and C-1 to Planned Unit Development (PUD/R-3/C-1) and approval of the Marden Ridge Apartments – Phase 1B Master Site Plan/Preliminary Development Plan subject to the information and comments in the staff report for the property owned by Emerson Point Associates, LLLP.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Vacant Land; Ocoee Apopka Road
East (City)	Residential Medium (0-10 du\ac)	R-3	Vacant Land
East (County)	Low-Medium Density (0-10 un\ac)	R-2, R-3	Marden Garden apartments, Vacant Land
South (City)	Mixed Use	Mixed-EC	S.R. 414\vacant land\Emerson Park
West (City)	Industrial\Residential Medium Density	R-3 I-1	S.R. 451\Warehouse\vacant land

LAND USE & TRAFFIC COMPATIBILITY:

The property has access to a local roadway (Marden Road) and Ocoee Apopka Road (CR 437A). The subject property is already assigned a Future Land Use Designation of Commercial and Residential High Density, and C-1 commercial and R-3 residential. The proposed PUD zoning is requested to allow four story apartments with a maximum height of sixty (60) feet.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Planned Unit Development (PUD/R-3) zoning is consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

PUD

RECOMMENDATIONS: The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. The Commercial area (future phase; 6.43 acres) delineated within the Marden Ridge Apartments-Phase 1B Master Plan/Preliminary Development Plan shall comply with the C-1 Commercial zoning standards. Outdoor storage and display shall not be allowed.
2. Apartment residential area within Phase 1B and the northern future residential phase, as delineated within the Marden Ridge Apartments Master Plan (Sheet C.3) shall comply with the R-3 Residential zoning district uses and development standards set forth in the Land Development Code unless otherwise provided in Section B below. The R-3 zoning

standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

B. Development Standards:

1. Maximum height of residential apartment buildings is sixty (60) feet.
2. Development standards for the apartment buildings within Phase 1b shall comply with Marden Ridge Apartments Phase 1B Master Plan\Preliminary Development Plan and the Development Standards set forth in C2.10.
3. Development and site design shall comply with the Land Development Code unless otherwise addressed within Marden Ridge Apartments Phase 1B Master Plan\Preliminary Development Plan.
4. Development within the Future Commercial Phase and the northern Residential Phase shall be processed as a Preliminary Development Plan and\or a Final Development Plan.

C. The Marden Ridge Apartments Master Plan Site\Preliminary Development Plan 1B is hereby approved and is part of the PUD zoning ordinance.

**R-3 PERMISSIBLE
USES:**

Any use permitted in the R-3 zoning district; Multifamily dwellings, including, but not limited to, single family, triplex, quadruplex, townhouses, condominium, and apartment complexes.

**C-1 DISTRICT
REQUIREMENTS:**

Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width:	100 ft.
Front Setback:	10 ft.
Side Setback:	10 ft.
Rear Setback:	30 ft.
Corner Setback:	25 ft.
FAR:	0.25

**BUFFERYARD
REQUIREMENTS:**

Areas adjacent to all road rights of way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent to agricultural and residential uses or districts shall provide a minimum six foot-high masonry wall within a ten foot landscaped bufferyard. Areas adjacent to non-residential uses or districts shall provide a minimum five (5) foot landscaped bufferyard.

**C-1 PERMISSABLE
USES:**

Any nonresidential permitted use in the PO/I or CN districts. Retail establishments. Banks, savings and loan and other financial institutions. Bowling alleys, skating rinks, billiard parlors and similar amusement centers, provided such activities and facilities are enclosed within a sound-proof building. Churches and schools. Day nurseries, kindergartens and other child care centers. Drive-in restaurants, with property lines no closer than 200 feet from any residential districts or uses. Florist shops, the products of which are displayed and sold wholly within an enclosed building. Hotels, motels, bed and breakfast facilities. Personal service establishments such as barbershops, beauty parlors, professional and other offices, parking garages and lots, laundry and dry cleaning pickup station, self-service coin-operated laundry and dry cleaning establishments, shoe shine and repair, tailoring, travel services, watch and clock repair and locksmiths, etc. Post offices. Restaurants. Theaters, enclosed in structures. Clubs and lodges. Funeral parlors, when the sole use of the facility shall be for funeral rites. Animal clinics for the treatment of small animals, excluding farm animals, but including those animals no larger than a dog, commonly kept as pets in a residence, provided the care, treatment or housing of such animals shall not be allowed on the outside. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.



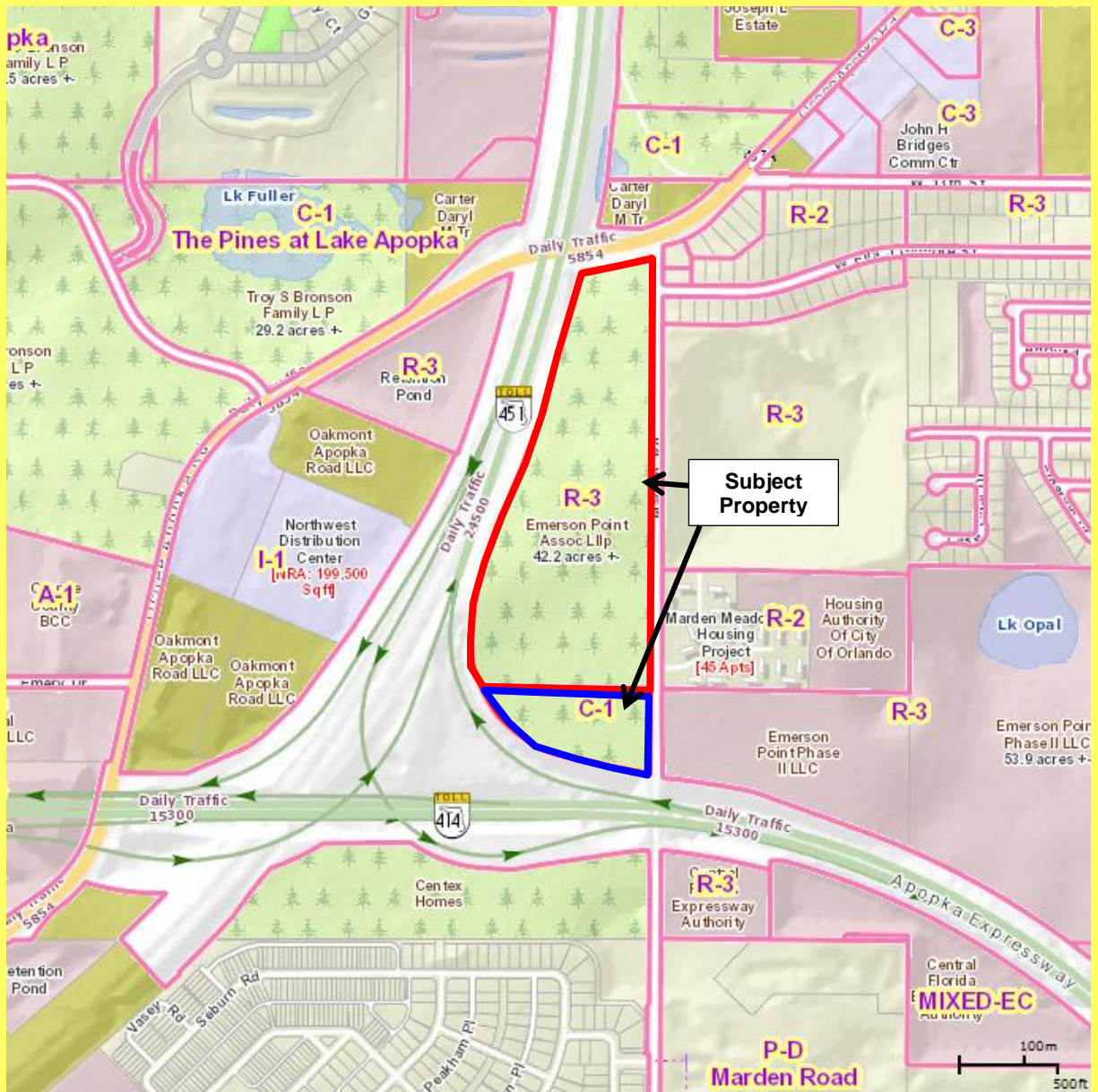
Marden Ridge Apartments
MMI Development, Inc. c/o Michael E. Wright, Esq.
Increase in building height from 35 feet to 58 feet.
Retail Commercial: 6.43 +/- Acres
Apartments: 18.05 +/- Acres (272 Units)
42.17 +/- Total Acres
Parcel ID #: 17-21-28-0000-00-029

VICINITY MAP



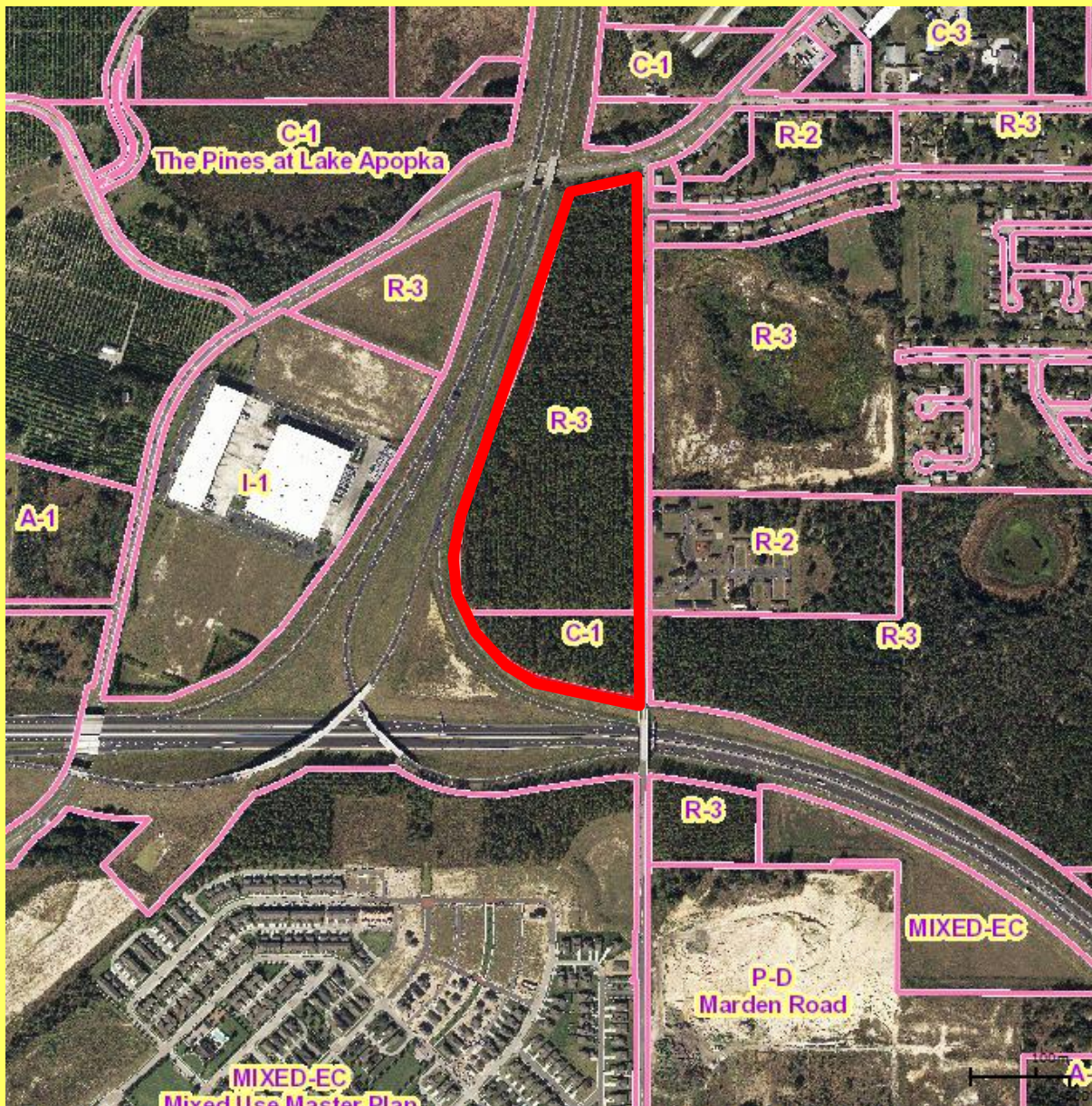


ADJACENT ZONING





ADJACENT USES



MARDEN RIDGE APARTMENTS - PHASE 1B

MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN

PARCEL ID #17-21-28-0000-00-29

Prepared By:



gai consultants

EB 9951

618 EAST SOUTH STREET
SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

LEGAL DESCRIPTION:

(PER ORB 9799 PG 5971)

A PARCEL OF LAND LYING IN SECTIONS 17 AND 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF EMERSON PARK AS RECORDED IN PLAT BOOK 68, PAGES 1 THROUGH 17, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE RUN N 00°15'45" E ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 867.57 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE RUN THE FOLLOWING COURSES AND DISTANCES; N 79°21'18" W FOR A DISTANCE OF 250.77 FEET; THENCE RUN N 76°57'36" W FOR A DISTANCE OF 271.66 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 750.00 FEET; THENCE FROM A TANGENT BEARING OF N 69°25'55" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26°46'44" FOR AN ARC DISTANCE OF 350.53 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 725.00 FEET; THENCE FROM A TANGENT BEARING OF N 38°02'17" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27°58'31" FOR AN ARC DISTANCE OF 353.99 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 1500.00 FEET; THENCE FROM A TANGENT BEARING OF N 01°44'32" W RUN NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 20°26'35" FOR AN ARC DISTANCE OF 535.20 FEET TO A POINT OF TANGENCY; THENCE RUN N 18°42'03" E FOR A DISTANCE OF 159.98 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 429 (WESTERN BELTWAY) PER ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7829.44 FEET; THENCE FROM A TANGENT BEARING OF N 24°29'43" E RUN NORTHEASTERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND SAID CURVE THROUGH A CENTRAL ANGLE OF 5°02'40" FOR AN ARC DISTANCE OF 689.30 FEET; THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE RUN N 13°07'16" E FOR A DISTANCE OF 205.68 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7809.44 FEET; THENCE FROM A TANGENT BEARING OF N 17°57'03" E RUN NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°51'29" FOR AN ARC DISTANCE OF 525.85 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 437-A (OCOCHE APOPKA ROAD) PER OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF AFORESAID PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING AFORESAID EASTERLY RIGHT OF WAY LINE RUN N 80°33'42" E ALONG SAID SOUTHERLY RIGHT OF WAY LINE FOR A DISTANCE OF 196.20 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE RUN N 75°23'21" E FOR A DISTANCE OF 182.73 FEET TO A POINT ON AFORESAID WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE RUN S 00°08'34" W FOR A DISTANCE OF 2270.18 FEET; THENCE CONTINUING ALONG SAID WESTERLY RIGHT OF WAY LINE RUN S 00°15'45" W FOR A DISTANCE OF 452.54 FEET TO AFORESAID POINT OF BEGINNING.

42.17 ACRES, MORE OR LESS.

Legal Description prepared by: On the Mark Surveying, LLC
LB 7931

Prepared For:

EMERSON POINT ASSOCIATES, LLLP

1350 North Orange Avenue, Suite 250

Winter Park, FL 32789

(407) 385-0664



CITY OF APOPKA, FLORIDA

LOCATION MAP

CITY OF APOPKA OFFICIALS

MAYOR:

COMMISSIONER:

COMMISSIONER:

COMMISSIONER:

COMMISSIONER:

JOE KILSHEIMER

J. WILLIAM ARROWSMITH

BILLIE L. DEAN

DIANE VELAZQUEZ

SAM RUTH

UTILITY SERVICE PROVIDERS

WATER/SEWER/REUSE

City of Apopka
748 E. Cleveland Street
Apopka, FL 32703
(407) 703-1731

ELECTRIC

Duke Energy
452 E. Crown Point Road
Winter Garden, Florida 34787
(407) 905-3302

TELEPHONE

Century Link
P.O. Box 770339
Winter Garden, Florida 34777
(407) 814-5373

CABLE

Bright House
844 Maguire Road
Ocoee, Florida 34761
(407) 291-2500

NATURAL GAS

Lake Apopka Natural Gas
676 W. Montrose Street
Clermont, FL 32701
(352) 394-3480

CONTACT LIST

OWNER/APPLICANT

EMERSON POINT ASSOCIATES, LLLP
1350 North Orange Avenue, Suite 250
Winter Park, FL 32789
(407) 385-0664
Attn: Tommy Ciserano

CIVIL ENGINEER

GAI Consultants, Inc.
618 East South Street
Suite 700
Orlando, Florida 32801
(407) 423-8398
Attn: Anthony S. Call, P.E.

SURVEYOR

On The Mark Surveying, LLC
143 Meadow Blvd.
Sanford, FL 32771
(321) 626-6376
Attn: Corey A. Hopkins, PSM

LANDSCAPE ARCHITECT

Bellomo-Herbert
618 East South Street
Suite 600
Orlando, Florida 32801
(407) 423-8398
ATTN: Frank Bellomo

ARCHITECT

Forum Architecture & Interior Design, Inc.
745 Orienta Avenue, Suite 1121
Altamonte Springs, FL 32701
(407) 830-1400
ATTN: Andrew Roark

GEOTECHNICAL ENGINEER

Andreyev Engineering, Inc.
1170 West Minneola Avenue
Clermont, FL 34711
(352) 241-0508
ATTN: Ed Miguens, P.E.

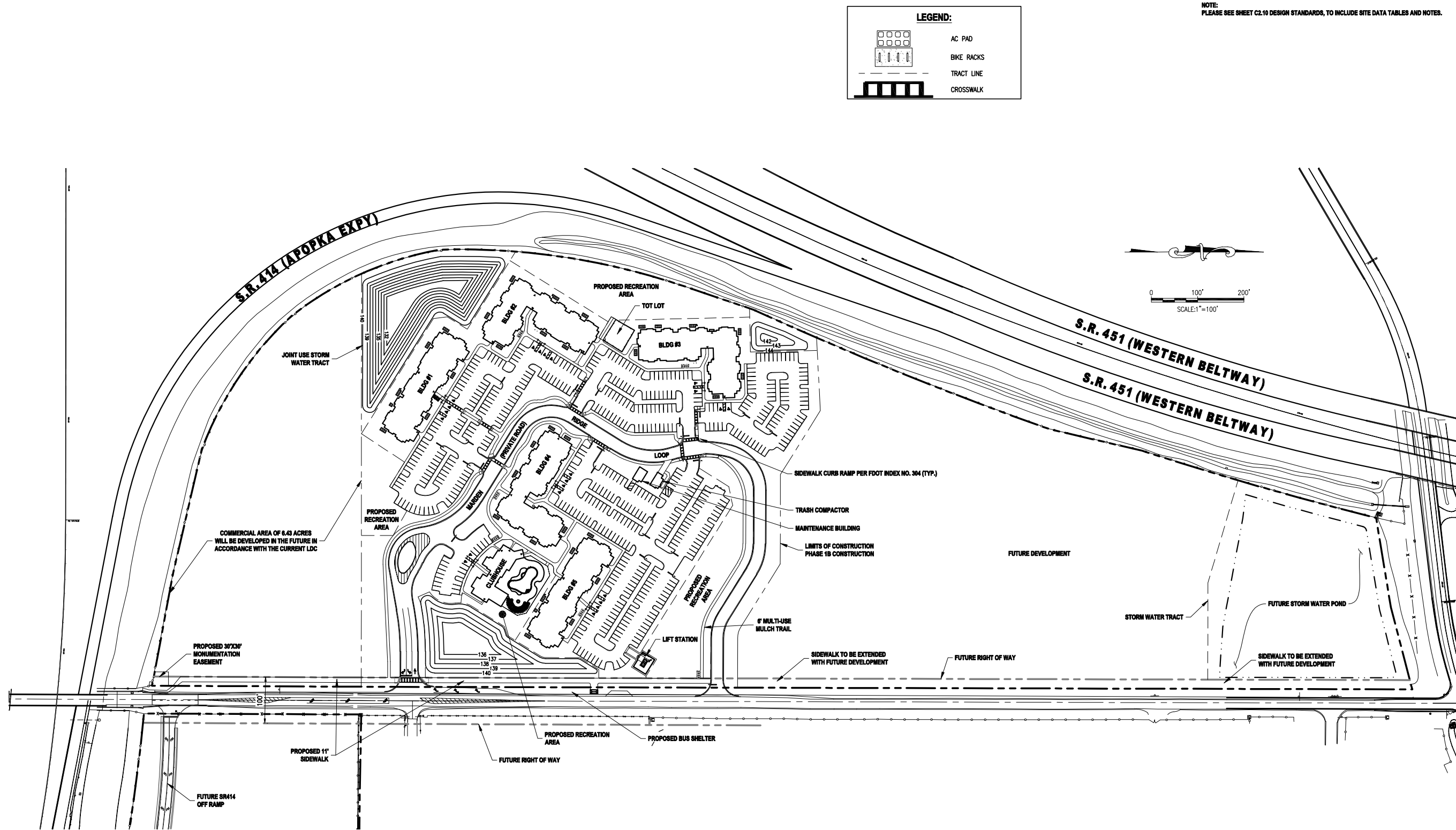
SHEET LIST TABLE

SHEET NUMBER

SHEET TITLE

C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C1.10	EXISTING SITE DATA
C1.20	GENERAL NOTES
C1.21	GENERAL NOTES
C1.30	PHASING PLAN
C2.00	SWPPP
C2.10	PDP DESIGN STANDARDS
C3.00	MASTER SITE PLAN
C3.10	SITE PLAN (SOUTH)
C3.20	SITE PLAN (NORTH)
C3.30	MARDEN ROAD IMPROVEMENT PLAN
C3.40	SIGNAGE & STRIPING PLAN
C3.50	TRACT DESIGNATION PLAN
C4.00	TYPICAL SECTIONS
C5.00	MASTER GRADING PLAN
C5.10	GRADING AND DRAINAGE PLAN (SOUTH)
C5.20	GRADING AND DRAINAGE PLAN (NORTH)
C5.30	DRY POND 1 CROSSECTION
C6.00	MASTER UTILITY PLAN
C7.00	DEVELOPMENT DESIGN STANDARD DETAILS
C7.10	UTILITY DETAILS
C7.20	UTILITY DETAILS
C7.30	DRAINAGE DETAILS
C7.40	LIFT STATION DETAILS
C7.50	LIFT STATION DETAILS
C7.60	ARCHITECTURAL BUILDING ELEVATIONS
C7.70	ARCHITECTURAL BUILDING ELEVATIONS
LA-1	LANDSCAPE PLAN
LA-2	LANDSCAPE PLAN

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ISSUED FOR PLANNING AND ZONING			
NO.	DATE	BY	DESCRIPTION
5	4/21/15	AP/MJC	REUSE PER CITY OF APOPKA COMMENTS
4	4/03/15	AP/MJC	REUSE PER CITY OF APOPKA COMMENTS
3	3/20/15	AP/MJC	REUSE PER CITY OF APOPKA COMMENTS
2	3/03/15	AP/MJC	REUSE PER CITY OF APOPKA COMMENTS
1	10/14	DWA	POP COMMENTS
NZ			

REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	03-18-2015	ASC	1"=100'

DATE: 03-18-2015
DRAWN: AP/MJC
CHECKED: ASC
APPROVED: ASC

MASTER SITE PLAN
MARDEN RIDGE APARTMENTS - PHASE 1B
MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN
APOPKA, FLORIDA

ANTHONY S. CALL, P.E.
No. 67370

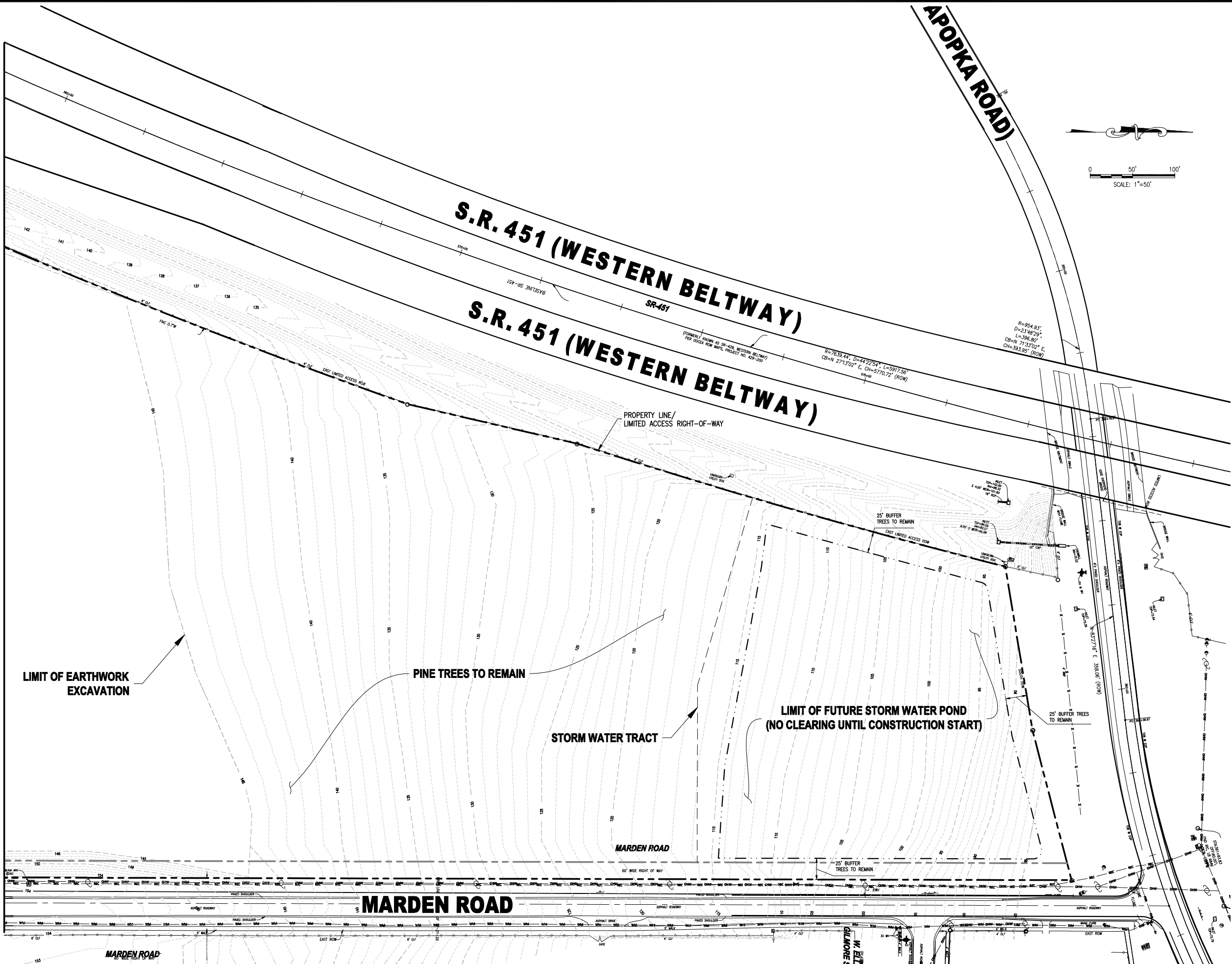
gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEET
C3.00

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MATCHLINE SEE SHT. C3.10 FOR CONTINUATION



ISSUED FOR PLANNING AND ZONING		REUSE PER CITY OF APOPKA COMMENTS		REUSE PER CITY OF APOPKA COMMENTS		REUSE PER CITY OF APOPKA COMMENTS		REUSE PER CITY OF APOPKA COMMENTS		REVISIONS	
NO.	DATE	BY	CHKD	APP'D	DESCRIPTION	NO.	DATE	BY	CHKD	APP'D	DESCRIPTION
5	4/21/15	AP/MJC	NG	ASC		1	10/14	DWA	CHD	APP'D	
4	4/03/15	AP/MJC	NG	ASC		2	3/03/15	AP/MJC	ASC		
3	3/20/15	AP/MJC	NG	ASC		3	3/03/15	AP/MJC	ASC		
2	3/03/15	AP/MJC	ASC			4	4/03/15	AP/MJC	NG	ASC	
1	10/14	DWA	CHD	APP'D							

SCALE: 1"=50'

DATE: 03-18-2015

DRAWN: AP/MJC

CHECKED: ASC

APPROVED: ASC

SITE PLAN (NORTH)

MARDEN RIDGE APARTMENTS - PHASE 1B

MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN

APOPKA, FLORIDA

ANTHONY S. CALL, P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEET
C3.20

LANDSCAPE REQUIREMENTS

SITE AREA
191,964 S.F. 1 TREE/8,000 S.F.

REQUIRED = 99 TREES
PROVIDED = 99 TREES

212 UNITS 1 TREE/UNIT

REQUIRED = 212 TREES
PROVIDED = 212 TREES

NORTH BUFFER- PHASE II
NO BUFFER REQUIRED

EAST BUFFER-10' BUFFER
154 L.F. 1,540 S.F.

50 L.F. LEASE ACCESS DRIVE
REQUIRED- 28- CANOPY TREES
CONTINUOUS HEDGE

PROVIDED- 28- CANOPY TREES
CONTINUOUS HEDGE

WEST BUFFER-10' BUFFER
1,020' L.F. 10,200 S.F.

REQUIRED- 40 CANOPY TREES
CONTINUOUS HEDGE

PROVIDED- 40 CANOPY TREES
CONTINUOUS HEDGE

SOUTH BUFFER
NO BUFFER REQUIRED

INTERIOR LANDSCAPE REQUIREMENT

VIA = 23,132 S.F. (10% OF VIA REQUIRED)

REQUIRED - 2,313 S.F.

PROVIDED - 3,330 S.F.

PARKING SPACES = 531 1/TREE/20 SPACES

REQUIRED - 27 TREES

PROVIDED - 10 TREES

BUILDING LANDSCAPE REQUIREMENT

BUILDING LENGTH 256 L.F.

LANDSCAPE AREA (50% OF BLDG. L.F. X 4')

REQUIRED - 512 S.F.

PROVIDED - 1,000 S.F.

TREES (1 TREE/200 S.F.)

REQUIRED - 2 TREES

PROVIDED - 2 TREES

LANDSCAPE AND IRRIGATION DESIGN

I VERIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008, WHICH ESTABLISHES WATER-WISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

EXISTING PINE TREES
TO REMAIN WITHIN 10'
BUFFER

10' BUFFER

ISSUED FOR PLANNING AND ZONING		ASC	ASC
NO.	DATE	OWN	CHD
5	4/27/15	AP/MJC	NO
4	4/03/15	AP/MJC	NO
3	3/20/15	AP/MJC	NO
2	3/03/15	AP/MJC	ASC
1	10/14	AP/MJC	ASC
REVISIONS		NO.	DESCRIPTION

SCALE: 1"=50'
DATE: 03-18-2015
DRAWN: AP/MJC
CHECKED: ASC
APPROVED: ASC

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN
APOPKA, FLORIDA

SCALE

RUTH PERRY, RLA
No. LA0001530



gai consultants

EB 9951

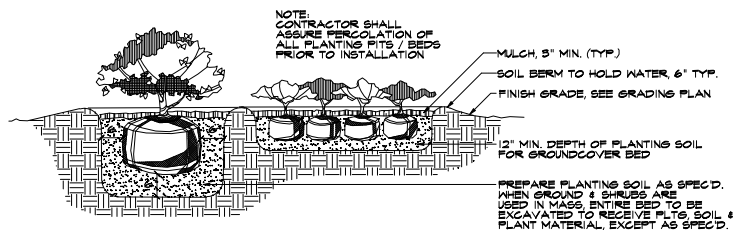
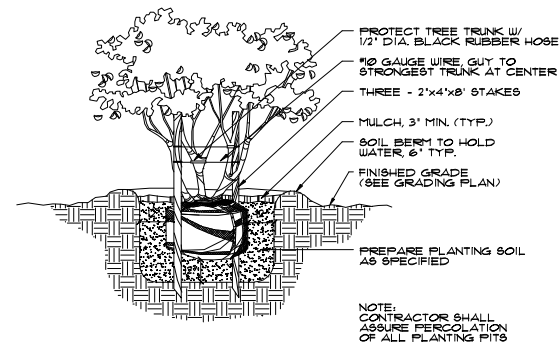
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8396

PROJECT NO./DASH NO.
A120273.03

SHEET

LA.01

TREES & PALMS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	REMARKS
LI	33	Lagerstromia indica	Crape Myrtle	10'-12' Ht x 5' Sprd	A.S.	25 Gal, Full Canopy, Multi-Stem
LJ	28	Ligustrum japonicum	Tree Ligustrum	10' x 10'	A.S.	Specimen, Full and Even Canopy, Multi-trunk
MAG	9	Magnolia 'Little Gem'	Magnolia	10' Ht x 5' Sprd	A.S.	Full to Base, Matched
PM	6	Phoenix 'Medjool'	Medjool Date Palm	12' C.T.	A.S.	Specimen, Matched Heights
QV	72	Quercus virginiana	Live Oak	14' Ht. x 8' Sprd.	A.S.	3 1/2" Cal., 65 Gal., Full Canopy
QS	93	Quercus shumardii	Shumard Red Oak	10'-11' Ht x 3'-4' Sprd	A.S.	30 Gal., 2" Cal.
PO	40	Platanus occidentalis	Sycamore	9'-10' Ht	A.S.	15 Gal., 1.75" Cal.
SP	126	Sabal palmetto	Sabal Palm	12' - 18' C.T.	A.S.	Sizes on Plan
WR	12	Washingtonia robusta	Washington Palm		A.S.	Sizes on Plan
PE	80	Pinus elliotii	Slash Pine	8'-10' Ht x 3.5'-4' Sprd	A.S.	30 Gal, 2-3" Cal
SHRUBS & GROUND COVERS						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
DTA	36	Dianella 'Variegata'	Blueberry Flax Lilly	15"-18" O.A.	30" O.C.	1 Gal, Full, install in monument planter
IPF	126	Illicium parviflorum	Yellow Anise	16"-24" Ht	30" O.C.	3 Gallon, Full
LEG	105	Liriope 'Emerald Goddess'	Liriope	6 PPP	24" O.C.	1 Gallon, Full
LOR	114	Loropetalum 'Flum Delight'	Dwf Loropetalum	15"-18" x 15"-18"	30" O.C.	3 Gallon, Full
MCA	78	Muhlenbergia capillaris	Muhly Grass	15"-18" Height	4' O.C.	3 Gallon, Full
PIB	84	Plumbago 'Imperial Blue'	Plumbago	18" x 24" x 18"-24"	36" O.C.	3 Gallon, Full
POD	242	Podocarpus spp.	Podocarpus	36"-40" x 15"-18"	36" O.C.	7 Gallon, Full
RIA	418	Rhaphiolepis indica	Indian Hawthorn	15"-18" x 15"-18"	30" O.C.	3 Gallon, Full
TAM	181	Trachelospermum asiaticum 'Texas Longleaf'	Texas Longleaf Jasmine	10"-12" Sprd.	18" O.C.	1 Gallon, Full
TDA	102	Tripsacum dactyloides	Fakahatchee Grass	18"-24" Height	5' O.C.	3 Gallon, Full
VIB	805	Viburnum suspensum	Viburnum	18"-24" x 15"-18"	36" O.C.	3 Gallon, Full
SOD AND MULCH						
BAH1A		Argentine Bahia		Contractor to verify amount.		
SOD		St. Augustine 'Floratum'		Contractor to verify amount.		
MULCH		Mini Pine Bark Nuggets	3" Min. Deep			

[illegible]

LANDSCAPE NOTES

REVISIONS					
NO.	DATE	OWN	CHNG	APPRO	DESCRIPTION
5	4/27/15	#/MAC	NOS	ASC	ISSUED FOR PLANNING AND ZONING
4	4/23/15	#/MAC	NOS	ASC	REUSE PER CITY OF #/PPOMA COMMENTS
3	3/20/15	#/MAC	NOS	ASC	REUSE PER CITY OF #/PPOMA COMMENTS
2	3/03/15	#/MAC	JU	ASC	REUSE PER CITY OF #/PPOMA COMMENTS
1	10/1/14	#/MAC	JU	ASC	PPA COMMENTS

LANDSCAPE PLAN (SOUTH)

SEA

RUTH PERRY, RLA
No. LA0001530



PROJECT NO./DASH NO.
A120273.03

SHEET

LA.02

LANDSCAPE AND IRRIGATION DESIGN

MARDEN RIDGE APARTMENTS PHASE 1B MASTER PLAN

A. DEVELOPMENT STANDARDS (SHEET C2.10)

SIGNAGE: All signage shall comply with City of Apopka codes, and FDOT MUTCD.

LIGHTING: Lighting shall comply with City of Apopka codes. Illumination plan required at final development plan.

STORMWATER: Stormwater management system will be designed to comply with City of Apopka code and the requirements of the St. Johns River Water Management District and approved with the final development plans.

WATER AND SEWER: Sewer and water to be provided via private onsite system connected to the City of Apopka utilities water main, sewer force main and reclaim water main within the Marden Road right of way. Lift station will be owned and maintained by the City of Apopka. The lift station tract will be deeded to the city.

RECREATIONAL FACILITIES:

1. All recreational facilities will be owned and maintained by the owner of the apartment complex owner.
2. Lock boxes for emergency access shall be provided for pool building/patio and office building.
3. Final details for court type and layout, tot lot, picnic and other equipment will be provided for city approval on the final development plans.
4. Final pool sizing and design shall be provided at the time of final development plans.
5. A letter from the Fl. Dept. of Health (or appropriate agency) must be submitted to community development department at time of final dev. plan to affirm the minimum size of the pool.
6. Recreational program to include, at minimum, the following: bark park, tot lot, picnic and gathering areas, BBQ locations and other equipment. Final recreation equipment details to be provided with Final Development Plan.

ACCESS & TRAFFIC GENERATION: Access to the public road system will be via Marden Road. The maximum projected traffic generation for this project is 287 pm peak hour trips per the site trip generation manual, 7th edition, for land use 220 - apartments.

PEDESTRIAN ACCESS: Sidewalks to be 5' wide unless otherwise noted on plans.

AMENITIES: To assure that quality residential development is constructed, the following amenities are proposed and will be included with the project:

1. Clubhouse will include wireless high speed internet, business center, fitness center, kitchen area with sinks, refrigerator and microwave and resort-style swimming pool with outdoor fireplace.
2. Apartment units will include energy-efficient appliances, full size washer and dryer available in 2 and 3 bedroom apartments, full or stacked washer and dryer available in 1 bedroom apartments, walk-in closets, bicycle trails, bicycle racks, bicycle and storage areas, granite counter tops, 9-foot ceilings. No coin laundry center allowed.
3. Security surveillance to be provided at Final Development Plan at entrance way per City of Apopka.

PARKING AREAS: In accordance with City of Apopka regulations, 20% of parking spaces shall have pervious parking at time of final development plan.

DEVELOPMENT DESIGN STANDARD:

1. Architectural design and color of multi-family buildings will be internally compatible.
2. All service and storage areas must be screened from public view.
3. All equipment (including roof top) and utility boxes must be fully screened (including the back of the building).

MONUMENT SIGN: At time of final development, monument and sign easement shall be dedicated to the City of Apopka. entry feature detail will be provided with final development plan.

MULTI-USE TRAIL: Maintenance authority and ownership of multi-use trail to be determined at the Final Development Plan.

LAND AREA FOR CONSTRUCTION:

6.64 acres commercial (clear, mass grade, vertical constr. - including 0.21 acres ROW dedication)

35.53 acres of r-3 (clear, mass grade, construct joint use pond, vertical construction - including 1.04 acres for row dedication)

Note that existing Marden Road right of way is 60'. Future right of way dedication is shown in this set of plans and will include 20' on either side making the future right of way 100'. The traffic study shows a proposed future row dedication of 25' which is incorrect.

PHASING INTENT OF THE PROJECT:

The project will be constructed in multiple phases, consisting of Phase 1A - mass grading plans and Phase 1B, the preliminary development plans herein. Anything beyond phase 1B site development will be identified as future development. Mass Grading plans must be approved by the City.

Construction dates are to be determined, due to the construction schedule of the SR 414 interchange. The apartments are to be completed within 90 days of interchange construction.

Future construction will follow at a later date.

APARTMENT UNIT MIX:

1. One bedroom units -- maximum 20% of the total residential apartments
2. Three bedroom units – minimum 10 % of the total residential apartments
3. Proposed apartment unit mix is provided in the table below but may be revised if unit mix complies with the one- and three-bedroom standards above.

PROPOSED UNITS: MULTIFAMILY RESIDENTIAL APARTMENTS						
Unit Mix Phase 1B	Building Number	Building Height	# Of 3 Bedroom Units	# of 2 Bedroom Units	# of 1 Bedroom Units	Total
TYPE I	1, 5	58'	8 X 2	28 X 2	16 X 2	52 X 2
TYPE II	2, 3, 4	58'	8 X 3	40 X 3	8 X 3	56 X 3
TOTALS:			56	176	40	272

B. SITE DATA

OVERALL SITE

PARCEL ID	17-21-28-0000-00-029	
PARCEL AREA	42.17	ACRES
FUTURE COMMERCIAL	6.43	ACRES
EMERSON POINTE APARTMENTS	18.05	ACRES
FUTURE DEVELOPMENT	16.09	ACRES
PROPOSED ROW DEDICATION	1.25	ACRES
STORMWATER FACILITIES	5.8	ACRES

PROPOSED UNITS	272	(3) TYPE IV 56-UNIT; (2) TYPE III 52-UNIT BLDGS.
PROPOSED DENSITY	15.0 DU/AC	MAX 15 DU/AC
OPEN SPACE	APPROX. 12.69 AC. (30.1%)	30% REQUIRED
MAXIMUM MEAN BUILDING HEIGHT:	58' (4 STORY)	
MINIMUM BUILDING SETBACK:	25' FROM BOUNDARY	
	MEDIUM DENSITY RESIDENTIAL/GROWTH CENTER	
FUTURE LAND USE:		
CURRENT ZONING:	R-3 (10 UNITS/ACRE)	
	C-1 (NOT PART OF THIS PERMIT. WILL BE DEVELOPED AT A LATER DATE)	
COMMERCIAL ZONING		
PROJECTED POPULATION (2.88 PERSONS/UNIT)(2.1X272)	784	INDIVIDUALS
SCHOOL AGE POPULATION (272X0.235)	64	CHILDREN (SEE NOTES)
RECREATION REQUIRED: (3.6 ACRES/1,000 PERSONS)	2.82	ACRES
RECREATION PROVIDED:	2.98	ACRES
TYPE OF UNITS	MULTI-FAMILY	
MINIMUM LIVING AREA (UNDER AIR)	750 SQ. FT.	
PARKING PROVIDED	REQUIRED	PROVIDED
	544 SPACES (2 SPACES/UNIT)	
STANDARD SPACES (9' x 18')		522
A.D.A. ACCESSIBLE SPACES (12' x 18')	11 SPACES (2% OF TOTAL)	22
TOTAL PROVIDED UNIT PARKS		544

EXISTING PROPERTY VEGETATION:

Pine tree farm

FLOOD ZONE:

Subject property shown hereon is in Zone X. See sheet C1.10 for the flood insurance rate map panel number.

SOILS:

according to the soil survey of Orange County, Florida, See Sheet C1.10.







Backup material for agenda item:

7. CHANGE OF ZONING/SMALL LOT OVERLAY DISTRICT MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – Silver Oaks – owned by Tallman Development Company, c/o Ed Hampden; engineer is Poulos & Bennett, LLC, c/o Marc Stehli, P.E. – From R-3 to R-3/Small Lot Overlay District, for property located north of East Keene Road, west of South Sheeler Avenue (2220 S. Sheeler Road). (Parcel ID Nos. 22-21-28-0000-00-078, 22-21-28-0000-00-079, 22-21-28-0000-00-081, 22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108, 22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117, 22-21-28-0000-00-122)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: May 12, 2015
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Exhibit A Master Site Plan
Exhibit B Dev. Standards
Exhibit C Site Data
Exhibit D Parking Plan
Exhibit E Park & Rec Plan
Exhibit F Landscape Plan
Exhibit G Archit. Renderings
Exhibit H Small Lot Overlay Ord.

SUBJECT: CHANGE OF ZONING AND MASTER SITE PLAN - SILVER OAK –
TALLMAN DEVELOPMENT COMPANY, C/O ED HAMPDEN

PARCEL ID NUMBERS: 22-21-28-0000-00-078; -079, -081, -082, -105, -108, -109, -114, -117, -122

Request: CHANGE OF ZONING
FROM: R-3 (15 DU/AC) (RESIDENTIAL)
TO: R-3/SMALL LOT OVERLAY DISTRICT (RESIDENTIAL)

SUMMARY:

OWNER/APPLICANT: Tallman Development Company, c/o Ed Hampden
ENGINEER: Poulos & Bennett, LLC, c/o Marc Stehli, P.E.
LOCATION: North of East Keene Road, west of South Sheeler Avenue
EXISTING USE: Vacant nursery/4 mobile homes
FLUM DESIGNATION: Residential High Density (0 – 15 du/ac)
ZONING: R-3 (Residential)
PROPOSED DEVELOPMENT: Single Family Residential Subdivision per the Small Lot Overlay District Ordinance – 185 total single family lots
PROPOSED ZONING: R-3/Small Lot Overlay District (Residential)
TRACT SIZE: 50.59 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 185 Units
PROPOSED: up to 685 Units

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS:

The subject parcels were annexed into the City of Apopka as follows:

Parcel No(s).	Ordinance No.	Date Annexed
22-21-28-0000-00-076 22-21-28-0000-00-081 22-21-28-0000-00-082 22-21-28-0000-00-122	706	December 30, 1991
22-21-28-0000-00-105	751	December 16, 1992
22-21-28-0000-00-109	1824	July 6, 2006
22-21-28-0000-00-108 22-21-28-0000-00-117	2264	June 12, 2012
22-21-28-0000-00-114	2351	March 19, 2014
22-21-28-0000-00-078	2352	March 19, 2014

The proposed zoning change is requested by the applicant. Applicant requests the City to assign a Small Lot Overlay to the subject property to allow a mix of single family lots with a minimum width of 40 feet and 50 feet for a total of 185 residential homes. Development will occur according to two development phases.

Development Profile:

Total Residential Units	185	
50' width	100	54.1%
40' width	85	45.9%
Phase 1	116	
50' width	71	61.2%
40' width	45	48.8%
Phase 2	69	
50' width	26	37.6%
40' width	43	62.4%
Open Space	15.18 ac	30%
Park\Recreation	6.27 ac	1.73 ac req.
Parking	Four per unit; two enclosed	
	51 overflow spaces	
Min. Livable Area use)	Max.. 46 units have a min. 1,500 sq. ft.; remaining to have minimum of 1,700 s. ft.	

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

SMALL LOT OVERLAY DISTRICT COMPLIANCE: The subject property meets the location criteria set forth within Section 3.04.05 of the Small Lot Overlay Zoning District:

1. The property must be assigned both a Residential High Future Land use Designation and an R-3 zoning category. (Sec. 3.04.05.1.a) The subject property meets both these requirements, as demonstrated by the Future Land Use Map and the Zoning Map.

2. A Small Lot Overlay District shall not be located within a half mile from another Small Lot Overlay District. (Sec. 3.04.051.b) Another established Small Lot Overlay District is not located within a half mile.
3. Property comprising a Small Lot overlay District shall be contiguous and generally compact. (Sec. 3.04.05.1.c) The property meets these criteria as demonstrated by the proposed Master Plan.
4. A boundary line of a Small Lot Overlay District must satisfy one (1) of the following criteria: b. Located within a half mile from an entrance to a limited access highway, or abutting a limited access highway. (Sec. 3.04.05.a) The entrance to S.R. 414 at Keene Road is a few hundred feet from the subject property.

The subject property complies with the development Section 3.04.04, Small Lot Overlay District, by meeting the development standards and design guidelines as demonstrated within the proposed Silver Oak Subdivision Master Plan\Preliminary Development Plan.

SCHOOL CAPACITY REPORT: A School Capacity Enhancement Agreement has been approved by OCPS for all parcels. Location served by the following schools: Lakeville Elementary, Piedmont Lakes Middle School, and Wekiva High School. No development activity shall occur on the subject property until the developer has obtained a school concurrency mitigation agreement or letter from OCPS.

ORANGE COUNTY NOTIFICATION:

The JPA requires the City to notify the County 30 days before any public hearing or advisory board for a proposed rezoning or future land use amendment on property abutting unincorporated lands. The City properly notified Orange County on April 10, 2015.

PUBLIC HEARING SCHEDULE:

May 12, 2015 – Planning Commission (5:01 pm)
June 17, 2015 – City Council (7:00 pm) - 1st Reading
July 1, 2015 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

April 24, 2015 – Public Notice and Notification
May 22, 2015 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** recommends:

- (1) Approval of the change in zoning from R-3 to R-3/Small Lot Overlay Zoning District for the property owned by Tallman Development Company, c/o Ed Hampden, subject to the findings of the Staff Report.
- (2) Waiver Requests:
 - a. Section 2.02.07.H.3, LDC, requires a six foot high brick or masonry wall within a five-foot-wide bufferyard adjacent to agricultural districts or uses. Request: Along the western and northern project line, applicant requests to install a six foot high vinyl fence. **DRC does not object to the waiver request.**

- b. Section 3.04.09(2), Small Lot Overlay Zoning District: No swimming pools are allowed within a small lot. A Small Lot is defined as a lot that has a width of less than 70 feet or a lot area less than 7,000 square feet.

Request: The applicant requests to prohibit pools on lots less than 50 feet wide. For lots 50 feet wide or greater, the applicant requests to limit pools to certain lots – Lots 1 – 21, 38 – 92, 149 -172. **DRC staff does not support this request.**

- c. Section 3.04.09(3). Metal, vinyl, or other similar materials shall not be used for patios, porticos or porches that extend beyond the wall of the primary residential structure. Materials used for these features shall be compatible with those of the primary residential structure. Request: Applicant requests to allow screened rooms for pools for Lots 1 -21 and Lots 55 – 92. **DRC does not support this request.**

- (3) Approval of the Silver Oak Subdivision Master Plan\Preliminary Development Plan subject to City approval of a development agreement or other legal instrument to establish a special homeowner fee for maintenance of the on-street parking.

Planning Commission Role: Advisory to City Council. Planning Commission can recommend to approve, deny or to approve with conditions.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Agricultural (1 du/5 ac)	A-1	Active horticultural nursery; vacant lands
East (City)	Residential Low (0-5 du/ac)	R-2	Cobblefield single-family residential community
South (County)	Rural Settlement (1 du/1 ac)	A-1	Manufactured homes; Apopka Expressway (S.R. 414) toll entrance; horticultural nursery
West (City)	Agricultural (1 du/5 ac)	AG	Horticultural nursery

LAND USE &

TRAFFIC COMPATIBILITY: A future land use designation of Residential High Density (HDR) has already been assigned to 41.4 acres of the 45.7 total acres comprising the Property.

The Property has access to a Collector roadway (East Keene Road) as well as to Sheeler Road, designated a local road south of U.S. 441 to Keene Road. Situated less than one hundred and fifty feet from the S.R. 414 toll way entrance, the Property allows easy access to a regional highway that leads to I-4, S.R. 429 and S.R. 451, and U.S. 441. North and west of the Property, lands are predominantly used for horticultural nursery businesses or are vacant lands assigned an agriculture zoning. Adjacent to the northwest corner are a few single family homes on large lots. To the east of Sheeler Road are two single family home residential neighborhoods -- Cobblefield and Sheeler Hills. Stonewood Reserve, an unplatted residential community, is situated to the northeast of the Property. Located to the southeast is Orange County's western regional water supply facility. South of the Property the area is predominantly used for horticultural nursery businesses and the S.R. 414 tollway interchange at Keene Road.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-3 (Multi-Family Residential) zoning is consistent with the City's Residential High Density Future Land Use Designation, which allows up to 15 units per acre. Development plans shall not exceed the density allowed under the adopted future land use designation.

R-3 DISTRICT REQUIREMENTS:

The R-3 zoning category allows single-family, duplex, and multi-family residential development. Development requirements specific to each of these three development options are established within the Land Development Code. The applicant has indicated an interest to pursue multi-family development based on the residential market. Minimum development standards for multi-family are listed for the R-3 zoning category:

Minimum Living Sq. Ft.:		
	Apartment	750 sq. ft.
	Condo/Townhomes	1,350 sq. ft.
Minimum Site Area:		One (1) Acres
Minimum Lot Width:		120 ft.
Setbacks:	Front	50 ft. between buildings
	Rear	50 ft. between buildings
	Side	20 ft. between buildings
	Corner	25 ft.

**BUFFER-YARD
REQUIREMENTS:**

Areas adjacent to all road rights-of-way shall provide a minimum six- (6') foot high brick, stone or decorative finished block wall erected inside a minimum ten (10) foot wide landscaped buffer-yard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall.

ALLOWABLE USES:

Multi-family development up to 15 units per acre, duplex, or single family residential subject to Section 2.02.07 of the Land Development Code.

Silver Oaks
Keene Road Apopka LLC/Nelson Apopka Ltd.
50.59 +/- Acres

Existing Maximum Allowable Development: 185 Units
Proposed Maximum Allowable Development: 685 Units

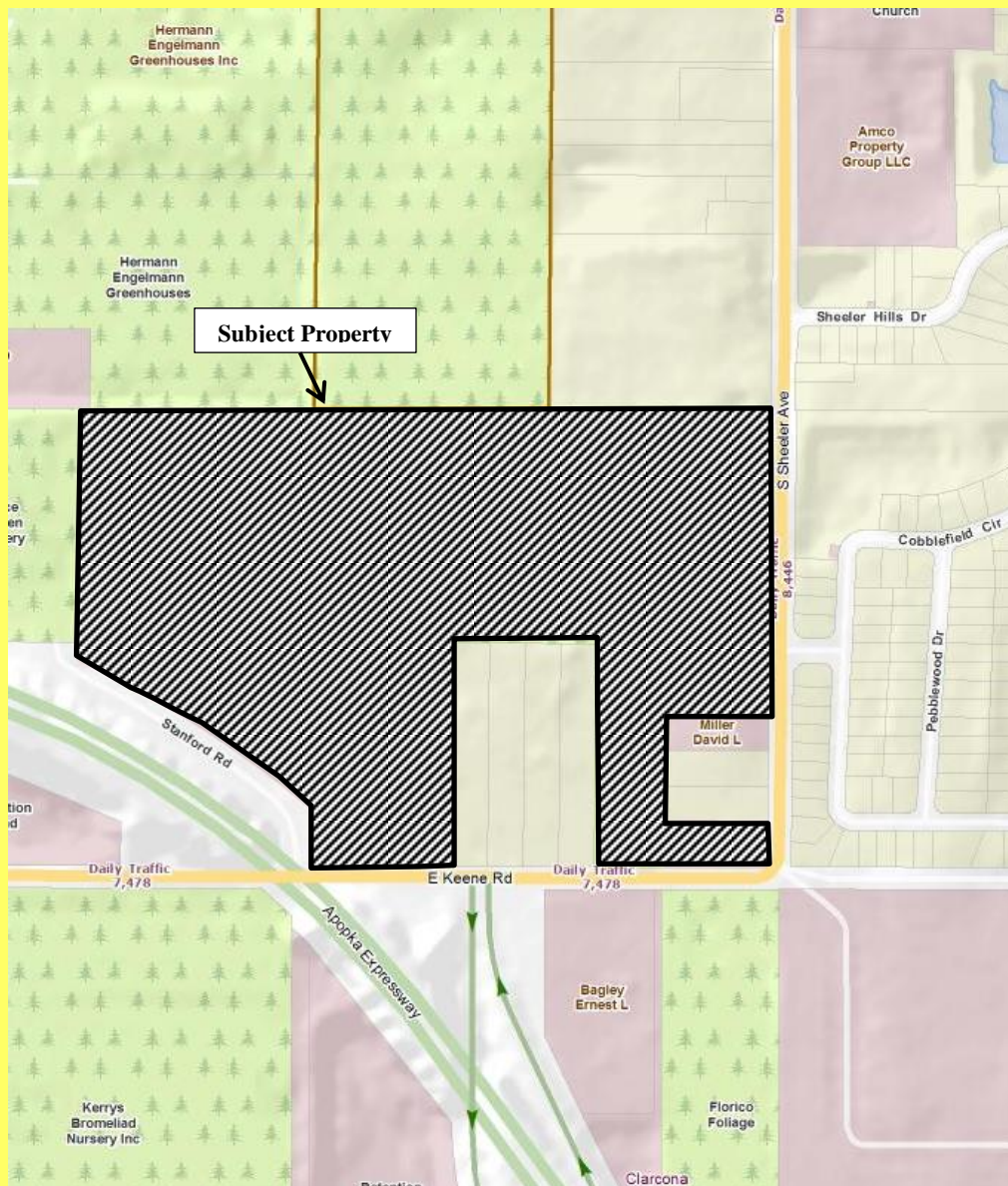
Proposed Zoning Change:

From: R-3 to R-3/Small Lot Overlay District (Residential)

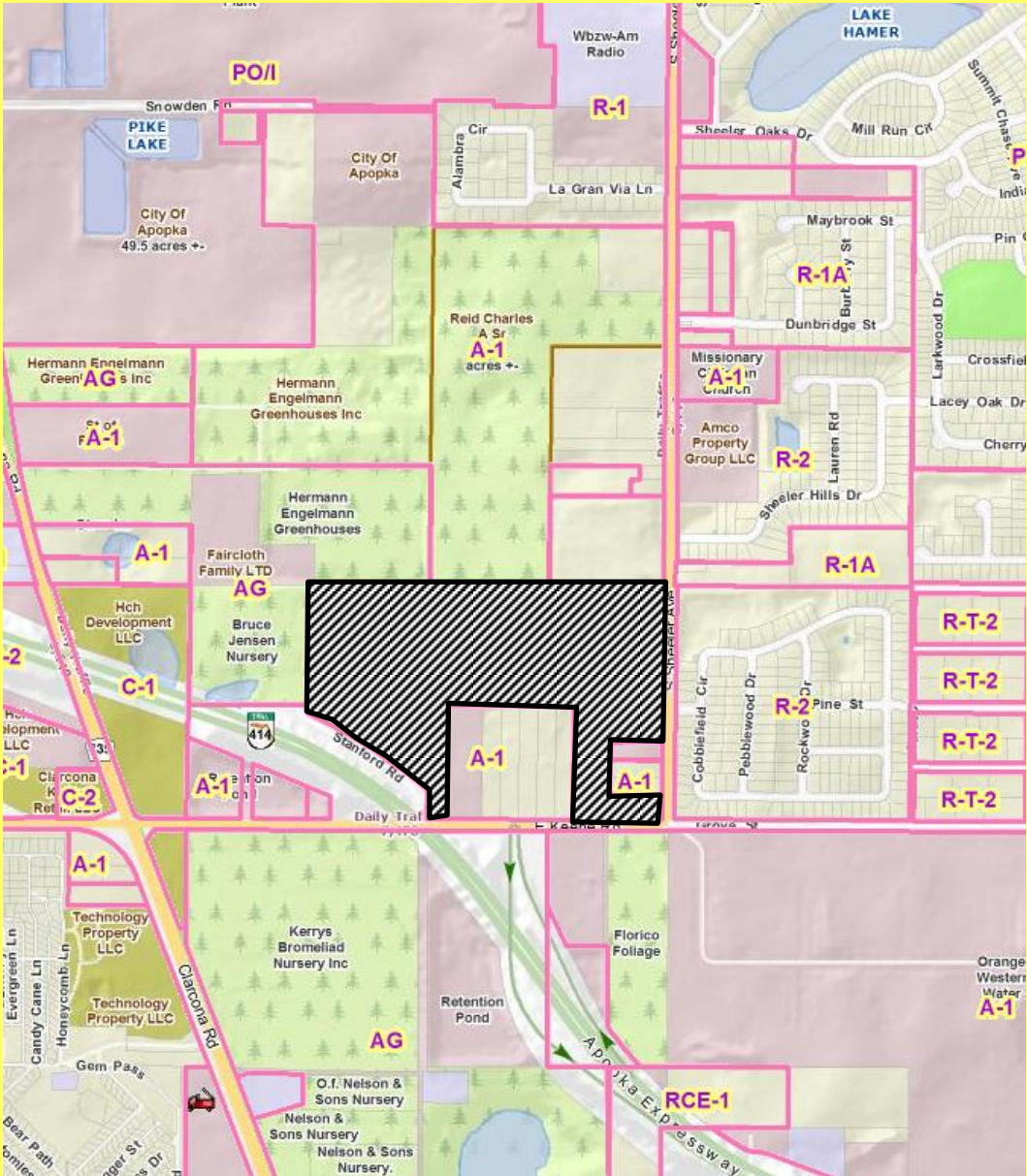
Parcel ID #s:	22-21-28-0000-00-078	22-21-28-0000-00-079	22-21-28-0000-00-081
	22-21-28-0000-00-082	22-21-28-0000-00-105	22-21-28-0000-00-108
	22-21-28-0000-00-109	22-21-28-0000-00-114	22-21-28-0000-00-117
	22-21-28-0000-00-122		



VICINITY MAP

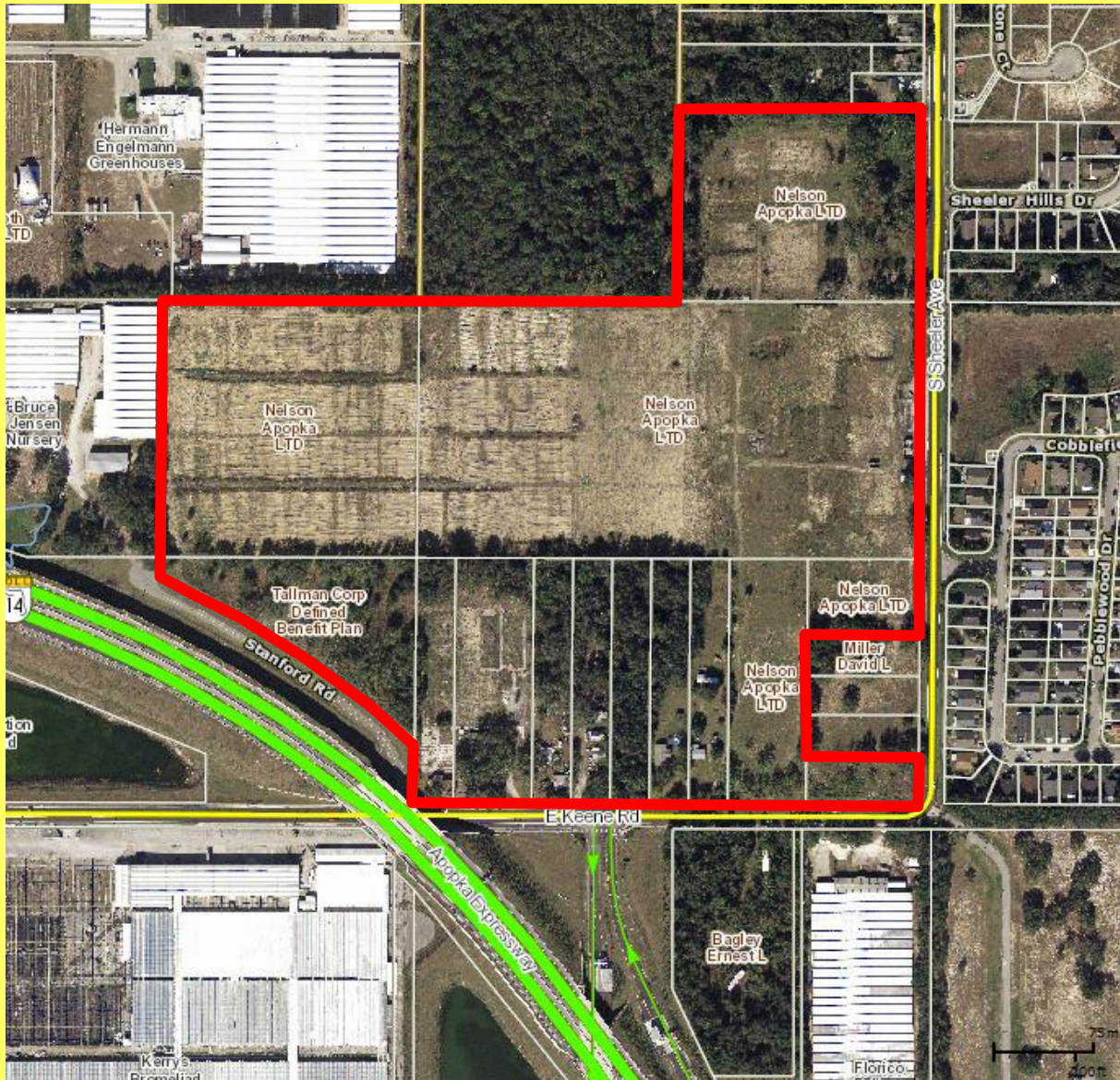


ADJACENT ZONING





ADJACENT USES



Master Plan / Preliminary Development Plan
for

EXHIBIT "A"

Silver Oak Subdivision

City of Apopka, FL
PR15-13

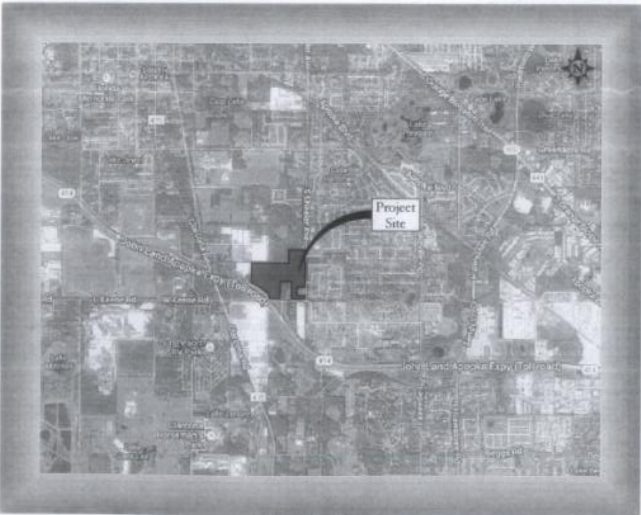
Legal Description:

A PORTION OF LAND LYING IN SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 22; THENCE NORTH 89°49'52" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22, 30.00 FEET; THENCE NORTH 00°25'07" EAST, 30.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°49'52" WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF KEENE ROAD, 490.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 520 FEET OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22; THENCE NORTH 00°25'07" EAST ALONG SAID LINE, 628.65 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 22; THENCE NORTH 89°50'37" WEST ALONG SAID LINE, 400.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 920 FEET OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°25'07" WEST ALONG SAID LINE, 628.56 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF KEENE ROAD; THENCE NORTH 89°49'52" WEST, 401.72 FEET TO A POINT ON THE WEST LINE OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22; THENCE NORTH 00°41'24" EAST, 163.08 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE (RADIAL LINE THRU SAID POINT BEARS SOUTH 39°52'57" WEST); THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, BEING CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 3055.39 FEET, A DELTA OF 14°37'22", AN ARC DISTANCE OF 779.78 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22 THENCE NORTH 00°42'15" EAST ALONG SAID LINE, 706.88 FEET TO A POINT ON THE NORTH LINE OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22; THENCE SOUTH 89°51'22" EAST ALONG SAID LINE, 1348.83 FEET TO A POINT ON THE WEST LINE OF THE EAST 627 FEET OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 22; THENCE NORTH 00°25'07" EAST ALONG SAID LINE, 495.01 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 495 FEET OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 22; THENCE SOUTH 89°51'22" EAST ALONG SAID LINE, 594.01 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SHEELER ROAD PER OFFICIAL RECORDS BOOK 338, PAGE 14; THENCE SOUTH 00°25'07" WEST ALONG SAID LINE, 495.01 FEET; THENCE SOUTH 89°51'22" EAST, 14.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF OFFICIAL RECORDS BOOK 346A, PAGE 880; THENCE SOUTH 00°51'48" EAST, 178.78 FEET; THENCE NORTH 89°50'37" WEST, 2.20 FEET; THENCE SOUTH 00°48'00" WEST, 267.02 FEET; THENCE NORTH 89°50'37" WEST, 1.03 FEET; THENCE SOUTH 00°25'07" WEST, 213.00 FEET; THENCE NORTH 89°50'37" WEST, 10.00 FEET (THE LAST SIX CALLS BEING COINCIDENT WITH SAID WEST RIGHT-OF-WAY LINE) TO A POINT ON THE WEST RIGHT OF WAY LINE OF SHEELER ROAD PER DEED BOOK 347, PAGE 367; THENCE SOUTH 00°17'35" WEST ALONG SAID LINE, 198.75 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 100 FEET OF THE SOUTH 560 FEET OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22; THENCE NORTH 89°49'52" WEST ALONG SAID LINE, 290.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 320 FEET OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 22; THENCE SOUTH 00°30'07" WEST ALONG SAID LINE, 300.01 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 160 FEET OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 22; THENCE SOUTH 89°49'52" EAST ALONG SAID LINE, 290.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SHEELER ROAD PER DEED BOOK 347, PAGE 367; THENCE SOUTH 00°25'07" WEST ALONG SAID LINE, 130.00 FEET TO THE POINT OF BEGINNING. SAID LANDS LYING IN ORANGE COUNTY, FLORIDA, CONTAINING 50.82 ACRES.

Parcel Id. No.:

22-21-28-0000-00-078, 22-21-28-0000-00-079, 22-21-28-0000-00-081
22-21-28-0000-00-082, 22-21-28-0000-00-105, 22-21-28-0000-00-108
22-21-28-0000-00-109, 22-21-28-0000-00-114, 22-21-28-0000-00-117
22-21-28-0000-00-122

Developer/Applicant:
Surrey Homes
1133 Louisiana Ave., Suite 106
Winter Park, Florida 32789



Vicinity Map
Scale: 1" = 2,000'

Sheet Index		Subm./Rev.					
Sheet Id.	Sheet Title	1	2	3	4	5	6
C1.00	Existing Conditions Plan	■	■	■			
C2.00	Master Plan	■	■	■			
C2.01	Development Design Standards			■			
C2.02	Site Data	■	■	■			
C3.00 - C3.03	Subdivision Plan	■	■	■			
C4.00 - C4.03	Master Drainage Plan	■	■	■			
C5.00 - C5.03	Master Utility Plan	■	■	■			
C6.00	Typical Sections & Details	■	■	■			
C7.00	Fire Access Plan	■	■	■			
C7.10	Parking Analysis Plan	■	■	■			

Reference Drawings							
S1 - S3	Boundary / Wetland Survey	■	■	■			
L1.00	Park & Recreation Master Plan	■	■	■			
L1.01	Tree Removal & Replacement Plan	■	■	■			
L2.01 - L2.05	Landscape Plan	■	■	■			
L2.06	Landscape Details & Notes	■	■	■			
A-1 - A-3	Architectural Design Standards	■	■	■			

Date	Description
1 03-31-2015	Submittal to City of Apopka
2 04-24-2015	Submittal to City of Apopka
3 05-05-2015	Submittal to City of Apopka

Civil Engineer:
Poulos & Bennett, LLC
4625 Halder Ln., Suite B
Orlando, FL 32814
407.487.2594

Landscape Architect:
Bonnett Design Group, LLC
151 Circle Drive
Maitland, FL 32751
407.622.1588

Geotech:
Yovaish Engineering Services
953 Sunshine Lane
Altamonte Springs, FL 32714
407.774.9383

Surveyor:
Charlie Mizo Surveying, Inc.
530 Hayman Court
Debarry, FL 32713
321.436.9391

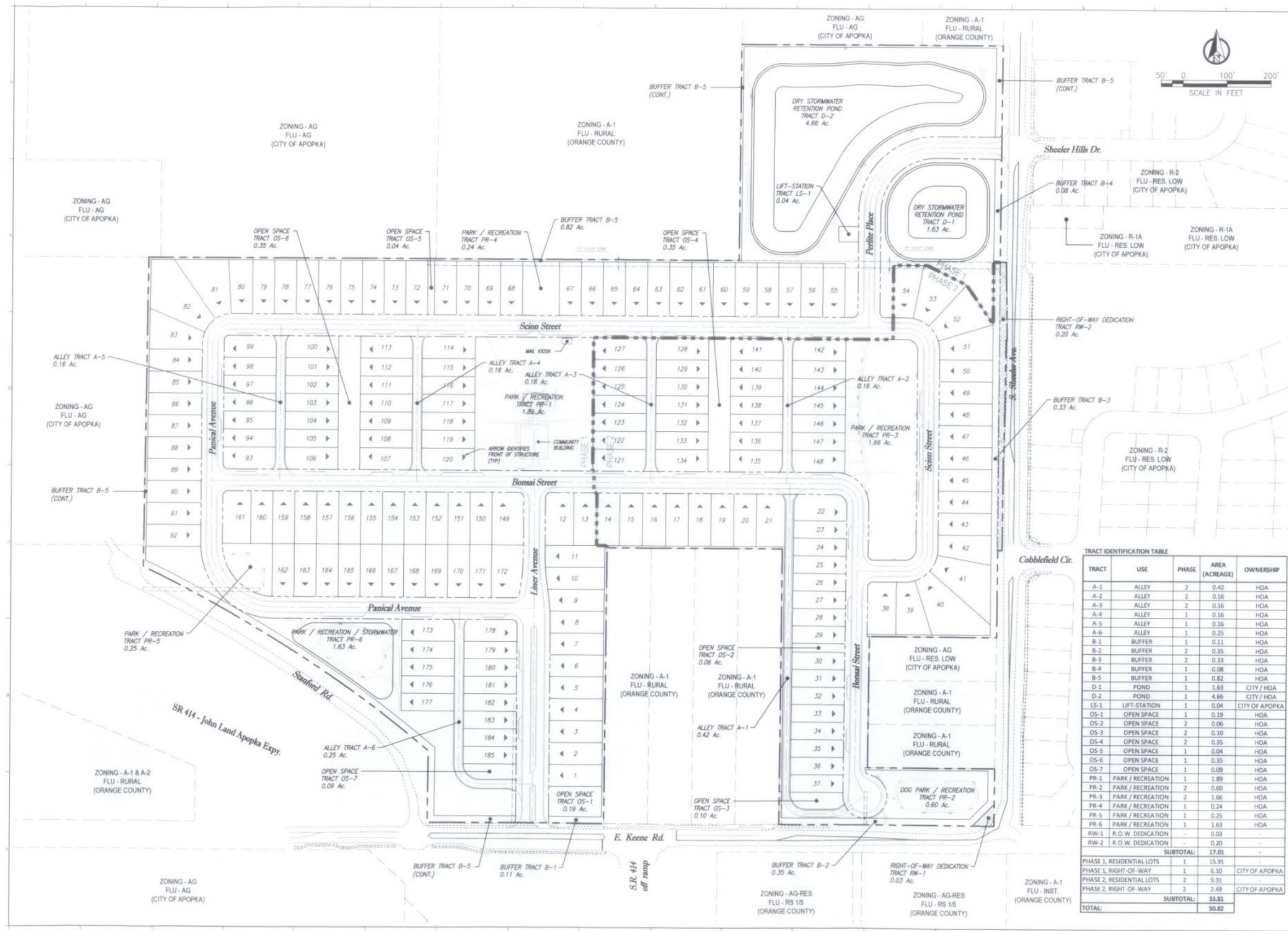
Transportation Engineering:
Traffic Planning and Design, Inc.
535 Versailles Drive, Suite 200
Maitland, FL 32751
407.628.9955

Owner:
Nelson Apopka, LTD
604 South Lake Sybelia Drive
Maitland, FL 32751
407.644.9140

POULOS & BENNETT

4625 Halder Lane, Suite B, Orlando, FL 32814
Tel. 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567
P&B Job No.: 14-098

DATE: May 5, 2015



Consultant:

3	06/05/2015	SUBMIT TO CITY OF APOPKA
2	04/24/2015	SUBMIT TO CITY OF APOPKA
1	01/15/2015	SUBMIT TO CITY OF APOPKA
NO.	DATE	DESCRIPTION
SUBMISSIONS/REVISIONS		
VERTICAL DATUM:		
JOB NO.	14-058	
DESIGNED BY:	MG	
DRAWN BY:	BW	
CHECKED BY:	MDS	
APPROVED BY:	MDS	
SCALE IN FEET:	1" = 100'	

Project Name:
**SILVER OAK
SUBDIVISION
PR15-13**

Submitted To:
CITY OF APOPKA, FL

Sheet Title:
MASTER PLAN

Sheet No.:
C2.00

DATE:
May 5, 2015

TRACT IDENTIFICATION TABLE				
TRACT	USE	PHASE	AREA (ACREAGE)	OWNERSHIP
A-1	ALLEY	2	0.42	HOA
A-2	ALLEY	2	0.16	HOA
A-3	ALLEY	2	0.16	HOA
A-4	ALLEY	1	0.16	HOA
A-5	ALLEY	1	0.16	HOA
A-6	ALLEY	1	0.25	HOA
B-1	BUFFER	1	0.11	HOA
B-2	BUFFER	2	0.35	HOA
B-3	BUFFER	2	0.33	HOA
B-4	BUFFER	1	0.08	HOA
B-5	BUFFER	1	0.82	HOA
D-1	POND	1	1.63	CITY / HOA
D-2	POND	1	4.66	CITY / HOA
LS-1	LIFT-STATION	1	0.04	CITY OF APOPKA
OS-1	OPEN SPACE	1	0.19	HOA
OS-2	OPEN SPACE	2	0.06	HOA
OS-3	OPEN SPACE	2	0.10	HOA
OS-4	OPEN SPACE	2	0.35	HOA
OS-5	OPEN SPACE	1	0.04	HOA
OS-6	OPEN SPACE	1	0.35	HOA
OS-7	OPEN SPACE	1	0.09	HOA
PR-1	PARK / RECREATION	1	1.89	HOA
PR-2	PARK / RECREATION	2	0.60	HOA
PR-3	PARK / RECREATION	2	1.66	HOA
PR-4	PARK / RECREATION	1	0.24	HOA
PR-5	PARK / RECREATION	1	0.25	HOA
PR-6	PARK / RECREATION	1	1.63	HOA
RW-1	R.O.W. DEDICATION	-	0.03	-
RW-2	R.O.W. DEDICATION	-	0.20	-
SUBTOTAL:			17.01	-
PHASE 1, RESIDENTIAL LOTS			1	15.91
PHASE 1, RIGHT-OF-WAY			1	6.10
PHASE 2, RESIDENTIAL LOTS			2	9.31
PHASE 2, RIGHT-OF-WAY			2	2.49
SUBTOTAL:			33.81	CITY OF APOPKA
TOTAL:			50.82	-

POULOS & BENNETT

Poulos & Bennett, LLC
4025 Hilder Lane, Suite B, Orlando, FL 32814
Tel: 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28367

2:12014.14-1006 SURVEY HOMES - NELSON APOPKA/CAD/PRELIMINARY/PPR/14-1006-1005

A. DESIGN STANDARDS
1. LOT CRITERIA

DESCRIPTION	SINGLE FAMILY DETACHED (REAR LOADED)	SINGLE FAMILY DETACHED (FRONT LOADED)
LOT SETBACKS		
FRONT PORCH	10'	15' ⁽¹⁾
FRONT	15'	20'
REAR	20'	20'
SIDE	5'	5'
SIDE CORNER	15'	20'
GARAGE	22'	30'
ACCESSORY STRUCTURE REAR	5'	5'
LOT DIMENSIONS		
MIN. AVERAGE LOT AREA	4,600 SF	5,750 SF
MIN. LOT WIDTH	40'	50' ⁽¹⁾
MIN. LOT DEPTH	115'	115'
MAX. LOT COVERAGE	75%	75%
MAX BUILDING HEIGHT	35' / 2 STORIES	35' / 2 STORIES
MIN. LIVING AREA	1,500 SF ⁽⁴⁾	1,700 SF ⁽⁴⁾

- (1) See Sheet "A-1" for depiction of conceptual individual site plans.
(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.
(3) Minimum lot width may be reduced to 40' around curves so long as lot width at the primary structure setback is 50' minimum.
(4) 1500 SF minimum allowed on a maximum of (46) units of the (85) total Single-Family Detached (Rear Loaded) units (Lots 22-37, 93-148, 173-185). 1700 SF minimum required on a minimum of (139) units of the (185) total units within the community (75% required per Section 3.04.08 of Small Lot Overlay District Ordinance).

B. ARCHITECTURAL, BUILDINGS, AND ACCESSORY STRUCTURES

- ARCHITECTURAL DESIGN SHALL MEET THE INTENT OF CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES AND SECTION 3.04.08 OF THE SMALL LOT OVERLAY DISTRICT ORDINANCE OR UNLESS OTHERWISE STATED.
- ALL LOTS SHALL HAVE DETACHED SINGLE FAMILY HOMES.
- ALL LOTS SHALL HAVE ATTACHED 2 CAR GARAGES.
- FACE OF WALL CONTAINING A FRONT ENTRY GARAGE SHALL NOT EXTEND PAST THE FRONT BUILDING WALL. SETBACK TO WALL SHALL BE 30' MINIMUM FROM FRONT PROPERTY LINE.
- NUMBER OF BEDROOM PER INDIVIDUAL HOME = (2) MINIMUM - (4) MAXIMUM
- AC CONDENSER UNITS & SIMILAR EQUIPMENT SHALL BE PLACED IN THE REAR YARD AREA. UNITS & SIMILAR EQUIPMENT SHALL NOT BE PLACED INSIDE THE SIDE YARD BUILDING SETBACK. UNITS SHALL BE SCREENED FROM SIDE STREETS WITH LANDSCAPING OR OPAQUE FENCING. SEE SITE PLANS ON SHEET "A-1".
- TRASH RECYCLE BIN PADS (MINIMUM 6'X4') SHALL BE PROVIDED WITHIN THE REAR YARD & ADJACENT TO DRIVEWAYS FOR LOTS 22-37, 93-148, & 173-185. SEE SITE PLANS ON SHEET "A-1".
- STORAGE SHEDS OR SIMILAR STORAGE FACILITIES SHALL NOT BE ALLOWED.
- SWIMMING POOLS SHALL BE ALLOWED ON SINGLE-FAMILY DETACHED (FRONT LOADED-50' WIDE MINIMUM) LOTS 1-21, 38-92, & 149-172.
- SWIMMING POOLS MUST BE IN-GROUND TYPE. ABOVE GROUND POOLS ARE PROHIBITED.
- SWIMMING POOLS AND DECKS ARE PROHIBITED FROM PROJECTING BEYOND THE SIDE WALL FAÇADE.
- SCREEN ENCLOSURES OVER SWIMMING POOLS AND THEIR RESPECTIVE DECK AREA WITH NON-METAL OR NON-VINYL ROOFS SHALL BE ALLOWED ON SINGLE-FAMILY DETACHED (FRONT LOADED-50' WIDE MINIMUM) LOTS 1-21 & 55-92. SCREEN ENCLOSURES ARE PROHIBITED ON LOTS 38-54 (LOTS ADJACENT SHEELER AVE.) & 161-173 (BACK TO BACK LOTS).
- SCREEN ENCLOSURES OVER SWIMMING POOLS AND THEIR RESPECTIVE DECK AREA SHALL BE SINGLE STORY WITH DOME OR ANGLED ROOFS. ENCLOSURE STRUCTURAL MEMBERS SHALL BE BRONZE. SCREENING SHALL BE DARK MESH. SOLID OPAQUE OR CLEAR PANELS ON THE WALLS OR ROOFS ARE PROHIBITED.
- SCREEN ENCLOSURES WITH METAL, VINYL, OR SCREEN MESH ROOFS OVER NON-SWIMMING POOL DECKS ARE PROHIBITED.
- MAIL DELIVERY FOR ALL LOTS SHALL OCCUR AT MAIL KIOSK WITH CLUSTER MAILBOX UNITS. MAIL KIOSK SHALL PROVIDE COVERED ROOF AREA FOR PROTECTION FROM INCLEMENT WEATHER. SEE SHEET "A-3" FOR STREET ELEVATION.
- ARCHITECTURAL DESIGN STANDARDS:
 - SPANISH, TUSCAN, OR CRAFTSMAN ARCHITECTURAL STYLES OR THEMES SHALL BE APPLIED TO HOUSES, COMMUNITY BUILDINGS, AND MAIL KIOSK. ARCHITECTURAL STYLE ELEMENTS SHALL BE APPLIED TO FRONT FAÇADE ONLY. SEE SHEET "A-2" FOR CONCEPTUAL FRONT ELEVATIONS. MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATIONS ON SHEET "A-2" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
 - SIDE WALL FAÇADES ALONG SIDE YARD STREETS AT LOTS 12, 22, 38, 93, 99, 100, 106, 107, 113, 114, 120, 121, 127, 128, 134, 135, 141, 142, 148, 149, 161, 172, 173, and 178 AND ALONG REAR ELEVATIONS AT LOTS 38 - 54 SHALL HAVE ADDITIONAL EMBELLISHED WINDOW GRID PATTERNS AND WINDOW BANDING & TRIM TO MATCH THE FRONT ELEVATION WINDOWS.
 - FRONT FAÇADE MATERIALS SUCH AS CULTURED STONE VENEER, STUCCO, & FIBER CEMENT SIDING SHALL BE UTILIZED TO BE CONSISTENT WITH THE APPLICABLE ARCHITECTURAL STYLE.
 - MINIMUM ROOF PITCH SHALL BE 5 / 12.
 - 30 YEAR ASPHALT SHINGLE SHALL BE INSTALLED ON ALL ROOFS. 3-TAB SHINGLES ARE PROHIBITED. SINGLE SHINGLE COLOR SHALL BE USED FOR UNIFORMITY THROUGHOUT THE COMMUNITY.
 - ALUMINUM FASCIA AND SOFFIT SHALL BE STANDARD FOR ALL HOUSES. SINGLE FASCIA AND SOFFIT COLOR SHALL BE USED FOR UNIFORMITY THROUGHOUT THE COMMUNITY.
 - WINDOW BANDING/TRIM AND FRONT DOOR SHALL BE PAINTED AN ACCENT COLOR.
 - RAVERS SHALL BE INSTALLED AT FRONT YARD DRIVEWAYS, LEAD WALKS, PORCHES, AND PORTICOES.
- FRONT BUILDING ENTRANCE ELEVATION DESIGN STANDARDS:
 - FRONT BUILDING ENTRANCE SHALL FEATURE A MINIMUM 5' DEEP (PER SECTION 3.04.08(4) OF SMALL LOT OVERLAY DISTRICT ORDINANCE) PORCH OR PORTICO FLUSH OR PROJECTING BEYOND FRONT WALL OR SIMILAR FEATURE. PORCH WIDTHS SHALL BE MINIMUM OF 30% OF THE FRONT FAÇADE OVERALL WIDTH.
 - FRONT PORCHES & PORTICOS AT GRADE LEVEL.
 - MODEL PLAN TYPE SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME MODEL PLAN TYPE WITHOUT A DIFFERENT ELEVATION STYLE TYPE.
 - ELEVATION STYLE TYPES OF THE SAME STORY HEIGHT SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
 - SPECIFIC ELEVATION STYLE TYPES SHALL HAVE SIMILAR WALL FINISHES, WINDOW GRID PATTERNS, WINDOW BANDING & TRIM, ROOF LINES AND SLOPES, ETC. APPLIED TO EACH LOT WIDTH MODEL PLAN TYPE FRONT ELEVATIONS.
 - IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
 - MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-2" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.

14. REAR ELEVATION FACING "SHEELER STREET" DESIGN STANDARDS:

- APPLICABLE TO LOTS 38 THRU 54 ONLY.
 - SEE EXTERIOR ELEVATIONS ON SHEET "A-2".
 - SINGLE STORY LANAIS SHALL BE REQUIRED ON ANY TWO STORY HOME TO ELIMINATE BOX ON BOX APPEARANCE.
 - SINGLE STORY HOMES SHALL HAVE CABLE ENDS AT LANAI'S OR JOGS IN REAR WALL FAÇADE TO ELIMINATE CONTINUOUS HORIZONTAL FASCIA LINE AND SINGLE HIP ROOF PLANE.
 - LARGE EXPANSES OF SOLID WALL SHALL BE AVOIDED THRU USE OF WINDOWS, WALL FEATURES, OR WALL / ROOF JOGS.
 - WINDOW GRID PATTERNS AND WINDOW BANDING & TRIM SHALL MATCH FRONT ELEVATION WINDOWS.
 - WINDOW STYLE TYPES OF THE SAME STORY HEIGHT SHALL NOT BE CONSTRUCTED ADJACENT TO THE SAME ELEVATION STYLE TYPE. THE SAME ELEVATION STYLE TYPE OF VARYING STORY HEIGHTS SHALL NOT BE CONSTRUCTED ON THREE (3) CONSECUTIVE LOTS.
 - IDENTICAL EXTERIOR PAINT SCHEMES SHALL NOT BE APPLIED ON ADJACENT LOTS.
 - MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
15. MAIL KIOSK ELEVATION DESIGN STANDARDS:
- ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & MAIL KIOSK WITHIN THE COMMUNITY. SEE SHEET "A-3".
 - MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
16. COMMUNITY BUILDING ELEVATION DESIGN STANDARDS:
- ELEVATION SHALL BE COMPATIBLE WITH THE ARCHITECTURAL ELEVATION STYLES OF THE HOMES & MAIL KIOSK WITHIN THE COMMUNITY. SEE SHEET "A-3".
 - MODIFICATION OR REPLACEMENT OF THE EXTERIOR ELEVATION ON SHEET "A-3" CAN BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SUCH CHANGES REPRESENT EQUIVALENT ARCHITECTURAL VALUE. SUBSTANTIAL DEVIATIONS FROM ARCHITECTURAL RENDERING MUST BE APPROVED BY CITY COUNCIL.
17. INDIVIDUAL LOT FRONT & REAR YARD FENCING STANDARDS:
- COMMUNITY PERIMETER FENCING NOT INCLUDED. SEE APPLICABLE LANDSCAPE PLAN SHEET L201-L205.
 - SEE SHEET "A-1" FOR CONCEPTUAL FENCING PLANS.
 - FENCING IS PROHIBITED IN FRONT YARDS.
 - FENCING AT REAR YARDS OF REAR ALLEY LOADED LOTS (LOTS 22-37, 93-148, 173-185) SHALL BE ALUMINUM WROUGHT IRON GRATE STYLE FENCING. SEE SHEET "A-1" FOR ILLUSTRATION.
 - FENCING AT REAR YARDS OF REAR ALLEY LOADED LOTS (LOTS 22-37, 93-148, 173-185) SHALL BE SETBACK AT LEAST TWO FEET FROM THE ALLEY AND DRIVEWAY. SEE SHEET "A-1" FOR ILLUSTRATION.
 - FENCING AT REAR YARDS OF 50' WIDE OR GARAGE FRONT LOADED LOTS SHALL BE TAN VINYL OPAQUE STYLE FENCING. SEE SHEET "A-1" FOR ILLUSTRATION.
 - MAXIMUM HEIGHT = 5'-0" ABOVE FINAL GRADE. NO FENCE SHALL EXCEED THE HEIGHT OF AN ABUTTING COMMON AREA WALL.
 - REAR YARD FENCES SHALL NOT PROJECT MORE THAN 5' BEYOND REAR SIDE WALL BUILDING CORNER.

C. UTILITIES AND INFRASTRUCTURE

- WATER SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE WATER SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
- RECLAIM WATER SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE RECLAIM WATER SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
- STORM WATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF APOPKA AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FOR PROJECTS WITHOUT A POSITIVE OUTFALL.
- A FINAL DRAINAGE REPORT AND SOILS REPORT WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLANS.
- SANITARY SERVICE SHALL BE PROVIDED BY THE CITY OF APOPKA. THE SANITARY SYSTEM SHALL BE DESIGNED TO CITY STANDARDS.
- UTILITY EASEMENTS SHALL BE DEDICATED TO THE CITY OF APOPKA.
- DRAINAGE EASEMENTS TO BE DEDICATED TO THE HOME OWNERS ASSOCIATION UNLESS OTHERWISE ACCEPTED BY THE CITY OF APOPKA.
- ALL STORM WATER AND UTILITY PIPES MAY BE MOVED TO SAVE EXISTING TREES IN THE RIGHT-OF-WAY. ANY CHANGE IN THE LOCATION OF THESE PIPES WILL BE SHOWN ON THE FINAL ENGINEERING PLANS.
- ON-SITE STREETS ARE TO BE CONSTRUCTED PER CITY OF APOPKA STANDARDS.
- A SIGNAGE PLAN WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN SUBMITTAL.
- STABILIZED ACCESS ROADWAYS AND FIRE HYDRANTS MUST BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
- SOLID WASTE COLLECTION AND PUBLIC SAFETY (POLICE AND FIRE) PROVIDED BY THE CITY OF APOPKA.
- THE INTERNAL STREET RIGHT-OF-WAY IS TO BE PUBLIC.
- A FIVE (5) FOOT WIDE SIDEWALKS TO BE CONSTRUCTED ADJACENT TO INTERNAL ROADS THROUGHOUT THE ENTIRE PROJECT IN COMPLIANCE WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE. SIDEWALK ALIGNMENT MAY BE ADJUSTED AT FINAL DEVELOPMENT PLAN TO PRESERVE EXISTING TREES.
- A FIVE-FOOT WIDE SIDEWALK SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY ALONG SHEELER ROAD IN FRONT OF PARCEL ID'S 22-21-28-0000-00-140, 194 AND 111.
- RIGHT-OF-WAY DEDICATION ALONG E. KEENE ROAD AND SHEELER AVENUE SHALL BE AS DEPICTED ON SHEET C2.00 OR THE SILVER OAK MASTER PLAN.
- SILVER OAKS HOA SHALL NOT OBJECT TO PARCEL ID'S 22-21-28-0000-00-140, 194 AND 111 LOCATED ALONG SHEELER ROAD TO ACCESSING BONSAI STREET. THESE PARCELS SHALL BE ALLOWED TO BECOME PART OF THE SILVER OAKS COMMUNITY AND HOA. IF SUCH ABUTTING PARCELS ACCESS BONSAI STREET, THE DEVELOPMENT OF THESE PARCELS SHALL OCCUR CONSISTENT WITH THE DEVELOPMENT DESIGN STANDARDS SET FORTH IN THE SILVER OAKS PUD MASTER PLAN.
- LOT PARKING SHALL BE PROVIDED AT A RATE OF 4 PARKING SPACES PER DWELLING UNIT. PROVIDED PARKING SHALL AT A MINIMUM CONTAIN 2 PARKING SPACES WITHIN THE DRIVEWAY AND 2 PARKING SPACES WITHIN AN ENCLOSED GARAGE.
- THE DEVELOPMENT SHALL PROVIDE A MINIMUM OF 50 ON-STREET PARALLEL PARKING SPACES.
- GARAGES SHALL BE ACCESS FROM THE ADJACENT PUBLIC RIGHT-OF-WAY AT THE FRONT OF THE LOT FOR LOTS 1-21, 38-92 AND 149-172.
- GARAGES SHALL BE ACCESS FROM THE ADJACENT ALLEY TRACT AT THE REAR OF THE LOT FOR LOTS 22-37, 93-148 AND 173-185.
- ALL ALLEY TRACTS SHALL BE PROPOSED AS ONE-WAY TRAVEL LANES.
- SHEELER ROAD RIGHT-OF-WAY DEDICATION.
- POWER SERVICE WITHIN THE DEVELOPMENT SHALL BE UNDERGROUND. NO OVERHEAD SERVICE WILL BE ALLOWED.
- VEHICULAR, PEDESTRIAN AND ACCENT LIGHTING SHALL SUBSTANTIALLY CONFORM THE SECTION 3.10 - LIGHTING OF THE CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES.
- MOBILITY STANDARDS - BASED UPON THE DEVELOPMENT'S DAILY TRIP GENERATION OF 1,859 VEHICLES, THE PROVISION OF TWELVE (12) MOBILITY STANDARDS IS REQUIRED. THE DEVELOPMENT IS PROPOSING THE FOLLOWING MOBILITY STANDARDS TO FULFILL THIS REQUIREMENT:
 - SHEELER ROAD LEFT TURN LANE
 - KEENE ROAD LEFT TURN LANE
 - SHEELER ROAD/KEENE ROAD CORNER RIGHT-OF-WAY DEDICATION
 - SHEELER ROAD RIGHT-OF-WAY DEDICATION
 - CONSTRUCT APPROXIMATELY 300 LF SIDEWALK ON SHEELER ACROSS THE VACANT OUTPARCEL AT SHEELER ROAD AND KEENE ROAD
 - CONSTRUCT APPROXIMATELY 150 LF SIDEWALK WEST SIDE OF SHEELER FROM LA GRAN VIA LANE TO SHEELER OAKS DRIVE
 - PROVIDE A PEDESTRIAN GATE FROM CUL-DE-SAC/DOG PARK TO KEENE ROAD SIDEWALK
 - PROVIDE CROSSWALK STRIPING ACROSS SHEELER HILLS DRIVE
 - PROVIDE CROSSWALK STRIPING ACROSS STANFORD DRIVE
 - PROVIDE ADDITIONAL BIKE PARKING WITHIN THE DEVELOPMENT (1 OR MORE CREDITS)
 - PROVIDE PEDESTRIAN SEATING AT PROJECT ENTRANCES (1 OR MORE CREDITS)
 - HOA TO PROMOTE RIDE SHARING PROGRAM

D. RECREATION AND OPEN SPACE

- REQUIRED PROJECT OPEN SPACE SHALL BE A MINIMUM OF 30% OF THE DEVELOPED SITE AREA IN ACCORDANCE WITH CITY OF APOPKA SMALL LOT OVERLAY ZONING DISTRICT SECTION 3.04.00(4)(A) AND LDC SECTION 2.02.18(D)(19).
- REQUIRED PROJECT RECREATION SHALL BE PROVIDED AT A RATE OF 3.6 ACRES PER 1,000 POPULATION WITH 2.6 POPULATION PER DWELLING UNIT.
- RECREATION TRACT "PR-1" SHALL BE AN APPROXIMATE 1.89 ACRE COMMUNITY CENTER AND SHALL BE COMPLETED PER NOTE #6. A SPECIFIC PARK SITE PLAN AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. COMMUNITY CENTER AREA AMENITIES SHALL INCLUDE A SINGLE STORY COMMUNITY BUILDING, SWIMMING POOL AND DECK, AND MAIL KIOSK AT A MINIMUM. THE COMMUNITY BUILDING SHALL BE MINIMUM OF 2500 SF CONTAINING A MULTI-PURPOSE ROOM, KITCHENETTE (NO GAS APPLIANCES), STORAGE ROOM, RESTROOM FACILITIES FOR THE BUILDING AND POOL, SCREENED LANAI AREA, AND UNSCREENED LANAI AREA. THE SWIMMING POOL AND DECK AREA SHALL BE A MINIMUM OF 3200 SF AND WATER AREA OF A MINIMUM OF 1400 SF.
- RECREATION TRACT "PR-2" SHALL BE AN APPROXIMATE 0.80 ACRE DOG PARK AND SHALL BE COMPLETED CONCURRENT WITH PHASE 2 OF THE DEVELOPMENT. A SPECIFIC PARK SITE PLAN AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. DOG PARK AREA SHALL BE ENCLOSED AND AMENITIES SHALL INCLUDE AT A MINIMUM ONE (1) DOG WASTE BAG & DISPOSAL STATION, ONE (1) DOG DRINKING FOUNTAIN, SIX (6) SEATING BENCHES AND A WALKWAY.
- RECREATION TRACTS 3-6 WILL INCORPORATE PEDESTRIAN CIRCULATION, BENCHES, AND OPEN PLAY AREAS. SPECIFIC PARK SITE PLANS AND AMENITIES/EQUIPMENT SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
- THE PHASING OF ALL OPEN SPACE AND PARKS AND RECREATION TRACTS SHALL BE CONSISTENT WITH THAT DEPICTED ON THE PARK TRACTS AND OPEN SPACE TRACTS TABLES AS SHOWN ON THE SITE DATA SHEET C2.02. COMPLETION OF PHASE 1-PARKS AND RECREATION FACILITIES SHALL BE DONE BY THE ISSUANCE OF THE FIFTIETH (50) CERTIFICATE OF OCCUPANCY WITHIN PHASE 1 HOUSES. COMPLETION OF PHASE 2 - PARKS AND RECREATION FACILITIES SHALL BE DONE BY THE ISSUANCE OF THE FIFTIETH (50) CERTIFICATE OF OCCUPANCY WITHIN PHASE 2 HOUSES.

E. BUFFERS AND LANDSCAPING

- A FIFTYEN (15) FOOT BUFFER TRACT FOR PERIMETER WALL AND LANDSCAPING WILL BE PROVIDED ALONG THE SHEELER AVE, KEENE ROAD, AND STANFORD ROAD FRONTS. THESE TRACTS SHALL BE DEDICATED TO AND MAINTAINED BY THE HOA. THE DESIGN OF THESE BUFFER TRACTS SHALL GENERALLY FOLLOW THE LANDSCAPE DESIGN APPEARING ON SHEETS L100 TO L101 AND L201 TO L206 OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN. A SIX (6) FOOT HIGH WALL OR FENCE IS PROVIDED IN THESE TRACTS TO PROVIDE BUFFERING FROM THE ADJACENT ROADWAYS.
- A FIVE (5) FOOT WIDE BUFFER TRACT FOR PERIMETER FENCE AND LANDSCAPING WILL BE PROVIDED ON THE NORTHERN AND WESTERN PROPERTY LINE. THESE TRACTS SHALL BE DEDICATED TO AND MAINTAINED BY THE HOA. THE DESIGN OF THIS BUFFER SHALL GENERALLY FOLLOW THE LANDSCAPE DESIGN APPEARING ON SHEETS L100 TO L101 AND L201 TO L206 OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN. A SIX (6) FOOT HIGH VINYL FENCE IS PROVIDED IN THESE TRACTS TO BUFFER THE ADJACENT AGRICULTURE-ZONED PROPERTIES.
- ENTRANCE FEATURE AND COMMUNITY SIGN WILL BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- FINAL LANDSCAPE PLANS FOR THE BUFFER AREAS ALONG EAST KEENE ROAD & SOUTH SHEELER AVENUE WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
- TREE PLANTING CONDITIONS: MINIMUM OF TWO NEW TREES SHALL BE PLANTED PER 50' WIDE RESIDENTIAL LOT AND A MINIMUM OF ONE NEW TREE SHALL BE PLANTED PER 40' WIDE RESIDENTIAL LOT. THE NEW TREES SHALL BE A MINIMUM OF 3.5 INCHES DBH AT THE TIME OF PLANTING AND SHALL COUNT TOWARD THE OVERALL NUMBER OF REQUIRED TREE REPLACEMENT INCHES, IF ANY.
- TREE PROTECTION PLAN - THE FINAL DEVELOPMENT PLAN SHALL INCLUDE TREE PROTECTION TECHNIQUES TO PREVENT HARM TO ANY TREES DESIGNATE TO BE PRESERVED OR ENCROACHMENT INTO PROTECTED NATURAL AREAS, INCLUDING BUT NOT LIMITED TO TREE BARRICADES, SILT FENCING OR OTHER SIMILAR TECHNIQUES ACCEPTED BY THE CITY ENGINEER.

F. MAINTENANCE AND PLAT

- HOMEOWNERS ASSOCIATION WILL MAINTAIN ALL COMMON AREAS, ALLEY TRACTS, FENCES\WALLS, AND LANDSCAPING WITHIN THE FRONT AND CORNER YARDS OF ALL LOTS.
- THE FINAL DEVELOPMENT PLAN SHALL INCLUDE THE PLAT DOCUMENT, AND THE PLAT SHALL BE IN FINAL FORM.
- THE CITY OF APOPKA SHALL BE RESPONSIBLE FOR MAINTENANCE OF STREETS, ON-STREET PARALLEL PARKING SPACES, AND STREET LIGHTING AND STORMWATER COLLECTION SYSTEMS WITHIN THE PUBLIC RIGHTS-OF-WAY WITHIN THE SILVER OAK SUBDIVISION. A SPECIAL ASSESSMENT MAY BE REQUIRED WITHIN THE DEVELOPER'S AGREEMENT FOR THE ADDITIONAL MAINTENANCE ASSOCIATED WITH THIS PARKING ARRANGEMENT WITHIN THE PUBLIC RIGHT OF WAY WITHIN THE SILVER OAK DEVELOPMENT.

G. WETLANDS AND ENVIRONMENTAL

- THERE ARE NO WETLANDS OR ENVIRONMENTALLY SENSITIVE AREAS ON THE SITE.
- THERE ARE NO 100-YEAR FLOOD PLAIN AREAS WITHIN THE SITE.
- AN EROSION PROTECTION PLAN WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLANS.
- TREE REMOVAL, TREE REPLACEMENT, AND LANDSCAPING SHALL BE IN CONFORMANCE WITH ARTICLE V OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
- INDIVIDUAL LOT ARBOR/CLEARING PERMIT IS REQUIRED PRIOR TO CLEARING OR GRADING OF ANY LOT OR ISSUANCE OF BUILDING PERMIT. PLACEMENT OF THE HOUSE SHALL PRESERVE EXISTING TREES TO THE GREATEST EXTENT PRACTICAL. PLOT PLAN FOR EACH LOT SHALL ILLUSTRATE TREE LOCATIONS AS PRESENTED WITHIN THE PUD MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN.

H. DEVELOPMENT CONDITION CONTINUITY.

THE PUD DEVELOPMENT STANDARDS SHALL BE PRINTED WITHIN THE PUD MASTER PLAN AND THE FINAL DEVELOPMENT PLAN.

I. SIGNAGE.

SIGNAGE SHALL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE AND CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES.

J. LIGHTING.

STREET AND PARKING AREA OR PEDESTRIAN PATH LIGHT POLES SHALL BE DECORATIVE TYPE AND DETAILS PROVIDED WITH THE FINAL DEVELOPMENT PLAN.

K. GARBAGE PICKUP.

- FRONT LOADED SINGLE FAMILY UNITS TO BE PICKED UP AT THE ADJACENT FRONT RIGHT-OF-WAY.
- REAR LOADED SINGLE FAMILY UNITS TO BE PICKED UP AT THE ADJACENT REAR ALLEY TRACT.

L. MISCELLANEOUS.

- ANY EXISTING SEPTIC TANKS OR WELLS SHALL BE PROPERLY ABANDONED PRIOR TO EARTHWORK OR CONSTRUCTION. PERMITS SHALL BE APPLIED FOR AND ISSUED BY THE APPROPRIATE AGENCIES.
- ALL ACRESSES ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING AND FINAL PLAT REVIEW AND APPROVAL.
- OUTDOOR STORAGE AREAS (BOATS, TRAILERS, RECREATIONAL VEHICLES, ETC.) ARE NOT PROVIDED WITHIN THE DEVELOPMENT AND WILL BE PROHIBITED THROUGH THE HOA DOCUMENTS.
- ALL LOTS WITH REAR ALLEY ACCESS SHALL HAVE UNIFORM ADDRESS NUMBERS ON THE BACKSIDE OF THE RESIDENCE AND THE FRONT OF THE BUILDING FACING COMMON OPEN SPACE AREAS.

Key Map:

Consultant:

1 01/05/2015 SUBMIT TO CITY OF APOPKA

2 04/24/2015 SUBMIT TO CITY OF APOPKA

3 05/15/2015 SUBMIT TO CITY OF APOPKA

NO. DATE DESCRIPTION

SUBMISSIONS/REVISIONS

VERTICAL DATUM

JOB NO. 14-098

DESIGNED BY: MG

DRAWN BY: BW

CHECKED BY: MDS

APPROVED BY: MDS

SCALE IN FEET N.T.S.

Project Name:

SILVER OAK

SUBDIVISION

PR15-13

Submitted To:

CITY OF APOPKA, FL

Sheet Title:

DEVELOPMENT

DESIGN STANDARDS

Sheet No.:

C2.01

DATE: May 15, 2015

POULOS & BENNETT

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Eng. Div. No. 28367

EXHIBIT “B”

Section 3.12., Mailbox Kiosk Design; Residential Design Standards, Development Design Guideline

Design and appearance of a mailbox kiosk are compatible with the architectural theme for homes and community buildings in the residential community. Mailbox kiosks are covered by a shelter structure sufficient to protect the patron, mail, and delivery personnel from inclement weather. Acceptable and Undesirable design examples appear below.

A. Mailbox Kiosk (aka Cluster Mailbox Shelters)

1. Acceptable Design Examples



2. Undesirable Design Examples



EXHIBIT "C"

DEVELOPMENT INFORMATION

GENERAL

FUTURE LAND USE DESIGNATION	RES. HIGH DENSITY
ZONING	R-3, SMALL LOT OVERLAY
TOTAL PROPOSED UNITS FOR THIS PSP	185
TOTAL DEVELOPABLE LAND AREA	50.82
NET DEVELOPABLE LAND AREA	50.59
NET RESIDENTIAL DENSITY FOR THIS PSP	3.66

DEVELOPABLE LAND SUMMARY

PHASE 1 SITE AREA	34.62
PHASE 2 SITE AREA	15.97
R-O-W DEDICATION	0.23
TOTAL DEVELOPABLE LAND AREA	50.82

NET DEVELOPABLE LAND SUMMARY

TOTAL DEVELOPABLE LAND AREA	50.82
R-O-W DEDICATION	0.23
NET DEVELOPABLE LAND AREA	50.59

NET DEVELOPABLE LAND SUMMARY PER PHASE

PHASE 1 NET DEVELOPABLE AREA	34.62
PHASE 2 NET DEVELOPABLE AREA	15.97
NET DEVELOPABLE LAND AREA	50.59

PHASING

RESIDENTIAL PORTIONS OF THE PROJECT WILL BE CONSTRUCTED IN TWO (2) PHASES.

PHASE 1

PHASE 1 SITE AREA	34.62 ACRES
PHASE 1 NET DEVELOPABLE AREA	34.62 ACRES
PHASE 1 TOTAL PROPOSED UNITS	116 UNITS
PHASE 1 NET DENSITY	3.35 DU/AC

PHASE 2

PHASE 2 SITE AREA	15.97 ACRES
PHASE 2 NET DEVELOPABLE AREA	15.97 ACRES
PHASE 2 TOTAL PROPOSED UNITS	69 UNITS
PHASE 2 NET DENSITY	4.32 DU/AC

HOUSING MIX

HOUSING TYPE	NUMBER OF UNITS	PERCENTAGE (%)
SINGLE FAMILY LOT < 50' WIDTH	85	45.9%
SINGLE FAMILY LOT ≥ 50' WIDTH	100	54.1%
TOTALS:	185	100.0%

OWNERSHIP / MAINTENANCE

ROADWAYS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA
ALLEY TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
DRAINAGE TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA WITH A USE AGREEMENT TO ALLOW H.O.A. ABILITY TO MAINTAIN FOR AESTHETIC PURPOSES.
DRAINAGE EASEMENTS	PUBLIC	TO BE DEDICATED TO CITY OF APOPKA. DRAINAGE FACILITIES WITHIN THE EASEMENTS ARE TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
REAR YARD SWALE EASEMENTS	PRIVATE	IF APPLICABLE, TO BE DEDICATED TO HOMEOWNERS ASSOCIATION. DRAINAGE FACILITIES WITHIN THE EASEMENTS ARE TO BE MAINTAINED BY THE HOA.
UTILITY EASEMENTS	PUBLIC / PRIVATE	TO BE DEDICATED TO THE CITY OF APOPKA, HOA AND/OR OTHER PRIVATE UTILITIES COMPANIES. UTILITIES WITHIN THE EASEMENTS MAY BE OWNED AND MAINTAINED BY THE CITY OF APOPKA AND/OR OTHER PRIVATE ENTITIES.
WATER, RECLAIMED WATER AND SANITARY SEWER	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
LIFT STATION TRACTS	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
RECREATION TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
PARK TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
OPEN SPACE TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION
SIDEWALKS IN PUBLIC RIGHT OF WAY	PUBLIC	TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
LANDSCAPE TRACTS	PRIVATE	TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION

MISCELLANEOUS

POTABLE WATER SERVICE	THE CITY OF APOPKA
RECLAIMED WATER SERVICE	THE CITY OF APOPKA
WASTEWATER SERVICE	THE CITY OF APOPKA
ELECTRIC SERVICE	DUKE ENERGY
FIRE PROTECTION	THE CITY OF APOPKA

OPEN SPACE REQUIREMENTS (1)

LAND USE	NET DEVELOPABLE ACRES	REQUIRED		PROVIDED			
		REQUIRED % OF OPEN SPACE		PARK / RECREATION TRACTS (TOTAL)	BUFFERS / OPEN SPACE TRACTS (TOTAL)	DRAINAGE TRACTS (TOTAL) (3)	TOTAL OPEN SPACE PROVIDED
SINGLE FAMILY	50.59	30.00%	15.18	6.27	2.87	6.29	15.43
OPEN SPACE REQUIRED			15.18				
OPEN SPACE PROVIDED							15.43

1. ALL UNITS ARE ACRES
2. MINIMUM 30% OPEN SPACE FOR SINGLE FAMILY RESIDENTIAL PER SMALL LOT OVERLAY ZONING DISTRICT SECTION 3.04.00 (4)(A).
3. SHALL NOT ACCOUNT FOR MORE THAN 50% OF THE TOTAL OPEN SPACE REQUIRED.

RECREATION SPACE CALCULATIONS (1) (2)

RECREATION AREA REQUIRED = 3.6 ACRES PER 1,000 POPULATION		
2.6 PEOPLE PER UNIT / 1,000 X 3.6 ACRES = REQUIRED RECREATION AREA		
RECREATION REQUIRED:		1.73
PHASE	TRACT ID	AREA PROVIDED
1	PR-1	1.89
2	PR-2	0.60
2	PR-3	1.66
1	PR-4	0.24
1	PR-5	0.25
1	PR-6	1.63
TOTAL RECREATION PROVIDED:		6.27

1. ALL UNITS ARE ACRES.
2. RECREATION CALCULATED PER THE CITY OF APOPKA LDC, SECTION 2.02.18(E)(5)

PARK TRACTS

PHASE	TRACT ID	ACREAGE
1	PR-1	1.89
	PR-4	0.24
	PR-5	0.25
	PR-6	1.63
	PHASE 1 - SUBTOTAL:	4.01
2	PR-2	0.60
	PR-3	1.66
	PHASE 2 - SUBTOTAL:	2.26
TOTAL:		6.27

ALLEY TRACTS

PHASE	TRACT ID	ACREAGE
1	A-4	0.16
	A-5	0.16
	A-6	0.25
	PHASE 1 - SUBTOTAL:	0.57
2	A-1	0.42
	A-2	0.16
	A-3	0.16
	PHASE 2 - SUBTOTAL:	0.74
TOTAL:		1.31

DRAINAGE TRACTS

PHASE	TRACT ID	ACREAGE
1	D-1	1.63
	D-2	4.66
	PHASE 1 - SUBTOTAL:	6.29
TOTAL:		6.29

OPEN SPACE TRACTS

PHASE	TRACT ID	ACREAGE
1	OS-1	0.19
	OS-5	0.04
	OS-6	0.35
	OS-7	0.09
	PHASE 1 - SUBTOTAL:	0.67
2	OS-2	0.06
	OS-3	0.10
	OS-4	0.35
	PHASE 2 - SUBTOTAL:	0.51
TOTAL:		1.18

BUFFER TRACTS

PHASE	TRACT ID	ACREAGE
1	B-1	0.11
	B-4	0.08
	B-5	0.82
	PHASE 1 - SUBTOTAL:	1.01
2	B-2	0.35
	B-3	0.33
	PHASE 2 - SUBTOTAL:	0.68
TOTAL:		1.69

LIFT-STATION TRACTS

PHASE	TRACT ID	ACREAGE
1	LS-1	0.04
TOTAL:		0.04

Consultant:

1 06/16/2015 SUBMIT TO CITY OF APOPKA

2 04/24/2015 SUBMIT TO CITY OF APOPKA

1 05/11/2015 SUBMIT TO CITY OF APOPKA

NO. DATE DESCRIPTIONS

SUBMISSIONS/REVISIONS

VERTICAL DATUM:

JOB NO.: 14-098

DESIGNED BY: MG

DRAWN BY: BW

CHECKED BY: MDS

APPROVED BY: MDS

SCALE IN FEET: N.T.S.

Project Name:

SILVER OAK
SUBDIVISION
PR15-13

Submitted To:

CITY OF APOPKA, FL

Sheet Title:

SITE DATA

Sheet No.:

C2.02

DATE: May 5, 2015

POULOS & BENNETT

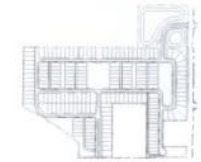
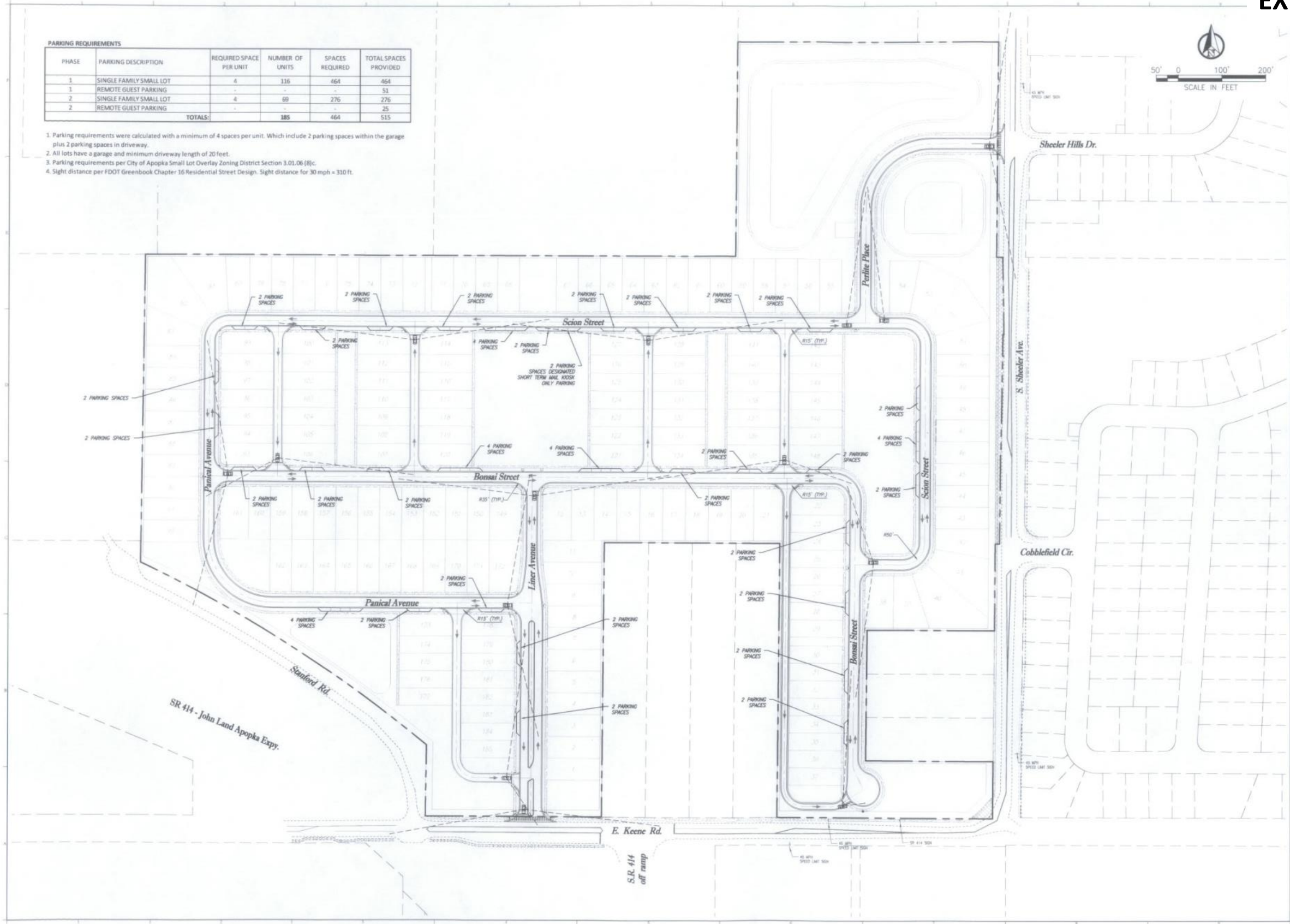
Poulos & Bennett, LLC
4625 Fidler Lane, Suite B, Orlando, FL 32814
Tel: 407.487.2594 • www.poulosandbennett.com
Eng. Box No. 26567

EXHIBIT "D"

PARKING REQUIREMENTS

PHASE	PARKING DESCRIPTION	REQUIRED SPACE PER UNIT	NUMBER OF UNITS	SPACES REQUIRED	TOTAL SPACES PROVIDED
1	SINGLE FAMILY SMALL LOT	4	116	464	464
1	REMOTE GUEST PARKING	-	-	-	51
2	SINGLE FAMILY SMALL LOT	4	69	276	276
2	REMOTE GUEST PARKING	-	-	-	25
TOTALS:		-	185	464	515

1. Parking requirements were calculated with a minimum of 4 spaces per unit. Which include 2 parking spaces within the garage plus 2 parking spaces in driveway.
2. All lots have a garage and minimum driveway length of 30 feet.
3. Parking requirements per City of Apopka Small Lot Overlay Zoning District Section 3.01.06 (B)c.
4. Sight distance per FDOT Greenbook Chapter 16 Residential Street Design. Sight distance for 30 mph = 310 ft.



Consultant:

3	6/6/2015	SUBMIT TO CITY OF APOPKA
2	9/4/2015	SUBMIT TO CITY OF APOPKA
1	6/15/2015	SUBMIT TO CITY OF APOPKA
NO.	DATE	DESCRIPTION
SUBMISSIONS/REVISIONS		
VERTICAL DATUM		
JOB NO.	14-098	
DESIGNED BY:	MG	
DRAWN BY:	BW	
CHECKED BY:	MDS	
APPROVED BY:	MDS	
SCALE IN FEET:	1" = 100'	

Project Name:
**SILVER OAK
SUBDIVISION
PR15-13**

Submitted To:
CITY OF APOPKA, FL

Sheet Title:
**PARKING ANALYSIS
PLAN**

Sheet No.:
C7.10

DATE: May 5, 2015

POULOS & BENNETT

Poulos & Bennett, LLC
4025 14th Ave. S., Suite B, Orlando, FL 32814
Tel: 407.487.2594 www.poulosandbennett.com
Eng. Bus. No. 28567

BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341

151 Circle Drive
Maitland, FL 32751
407.622.1588 voice
407.358.5363 fax

Silver Oak
Community Landscape Architecture
Surrey Homes, LLC
APOPKA, FLORIDA

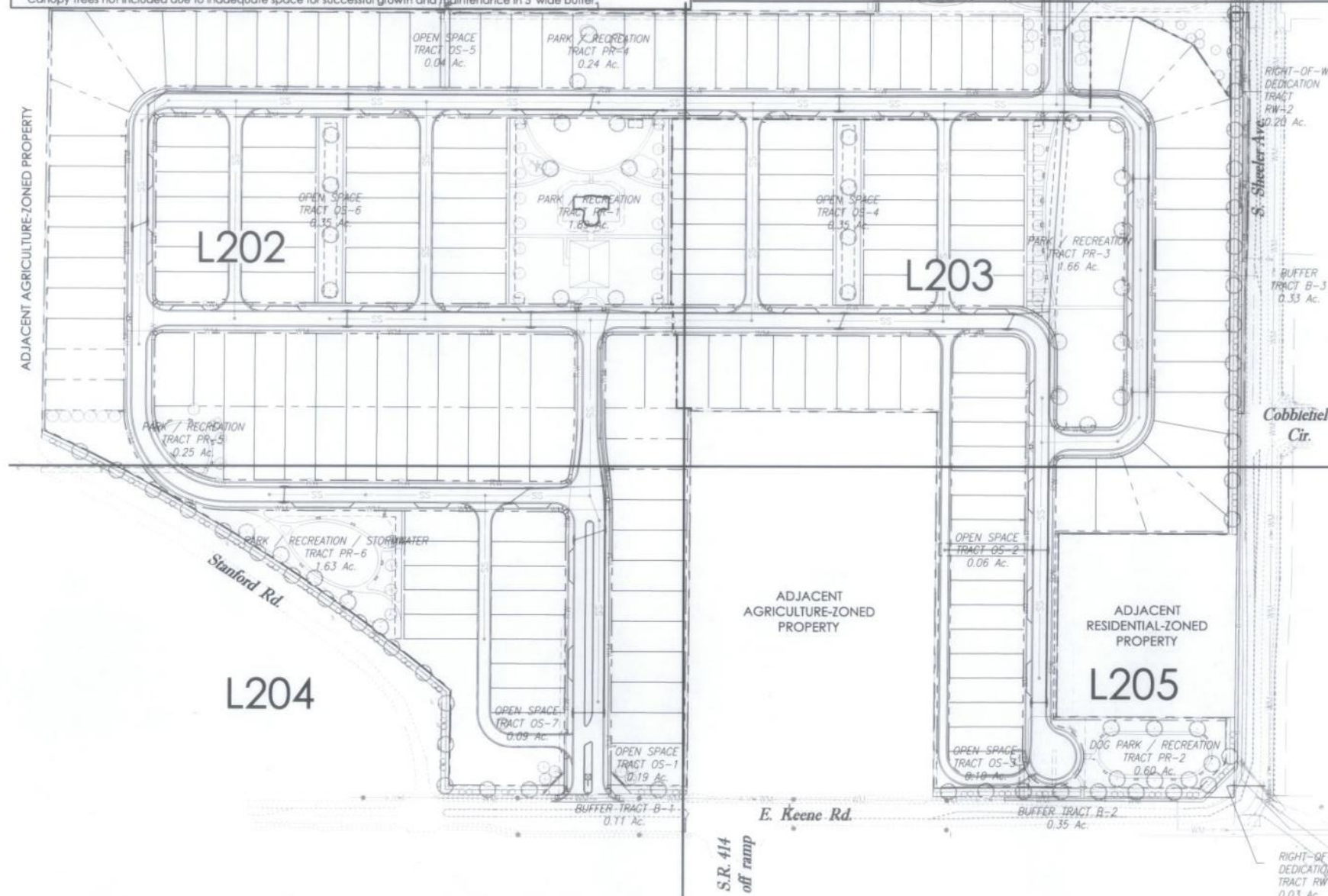
DATE: May 5, 2015
DRAWN BY: WCC/TWT
CHECKED BY: TWT
JOB NUMBER: 2015.11
FILE NAME:
2015.11_SURVEY_HOMES-SILVER OAK_LA-BAL
REVISIONS:

L100

Notes:
 * Excludes areas of sight triangle, driveways, and streets which cross the buffer.
 ** Canopy Trees not included due to inadequate space for successful growth and maintenance in 5' wide buffer.

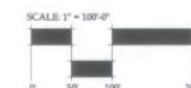
Common Open Space Key	Common Open Space Type	Open Space Area (sq. ft.)	Portion of Total Site	Trees Required Provided (1 per 4000 sq.
TRACT PR-1	Recreational	82,350	3.74%	21
TRACT PR-4	Landscaped	10,424	0.47%	3
POND D-1	Dry Pond	71,003	3.22%	18
POND D-2	Dry Pond	202,990	9.21%	51
TRACT PR-3	Landscaped	72,524	3.29%	18
TRACT PR-2	Landscaped	26,000	1.18%	7
TRACT OS-3	Landscaped	4,440	0.20%	1
TRACT OS-1	Landscaped	8,220	0.37%	2
TRACT OS-7	Landscaped	3,920	0.18%	1
TRACT PR-6	Landscaped	71,025	3.22%	18
TRACT PR-5	Landscaped	10,706	0.49%	3
TRACT OS-6	Recreation	15,250	0.69%	4
TRACT OS-4	Recreation	15,250	0.69%	4
ALL BUFFERS	Bufferyards	73,485	3.33%	n/a
	Total	667,587	30.29%	149

Tree Requirement (Maximum Tree Stock Calcs.)		
Net Site Area	2,203,700 S.F.	(50.59 acres)
Trees Required	275	1 Tree per 8,000 S.F. of Net Site Area
Trees Provided	302	In addition to trees provided in buffers and parks



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2068, ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____



BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341

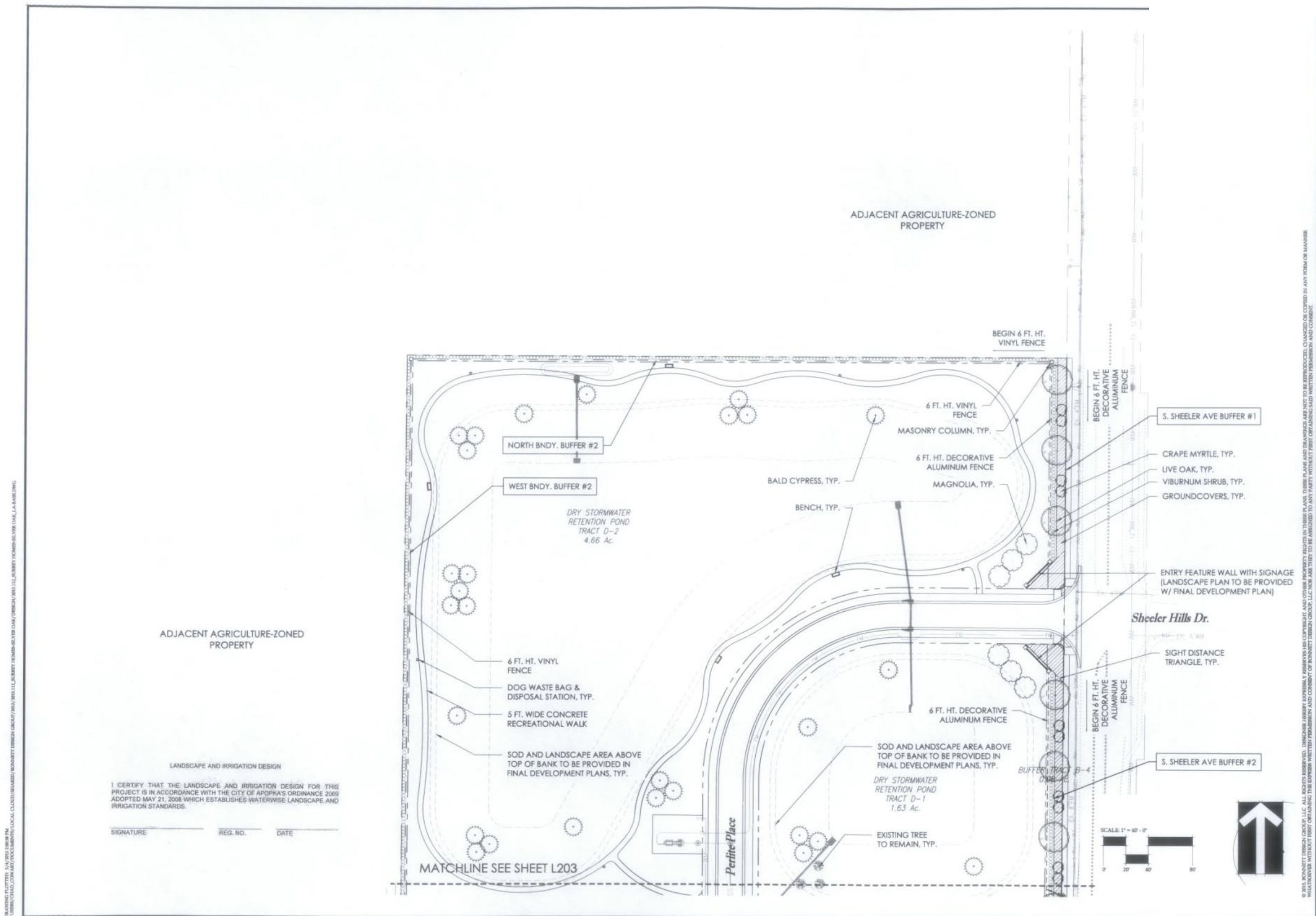
151 Circle Drive
Maitland, FL 32751
407.622.1588 voice
407.358.5363 fax

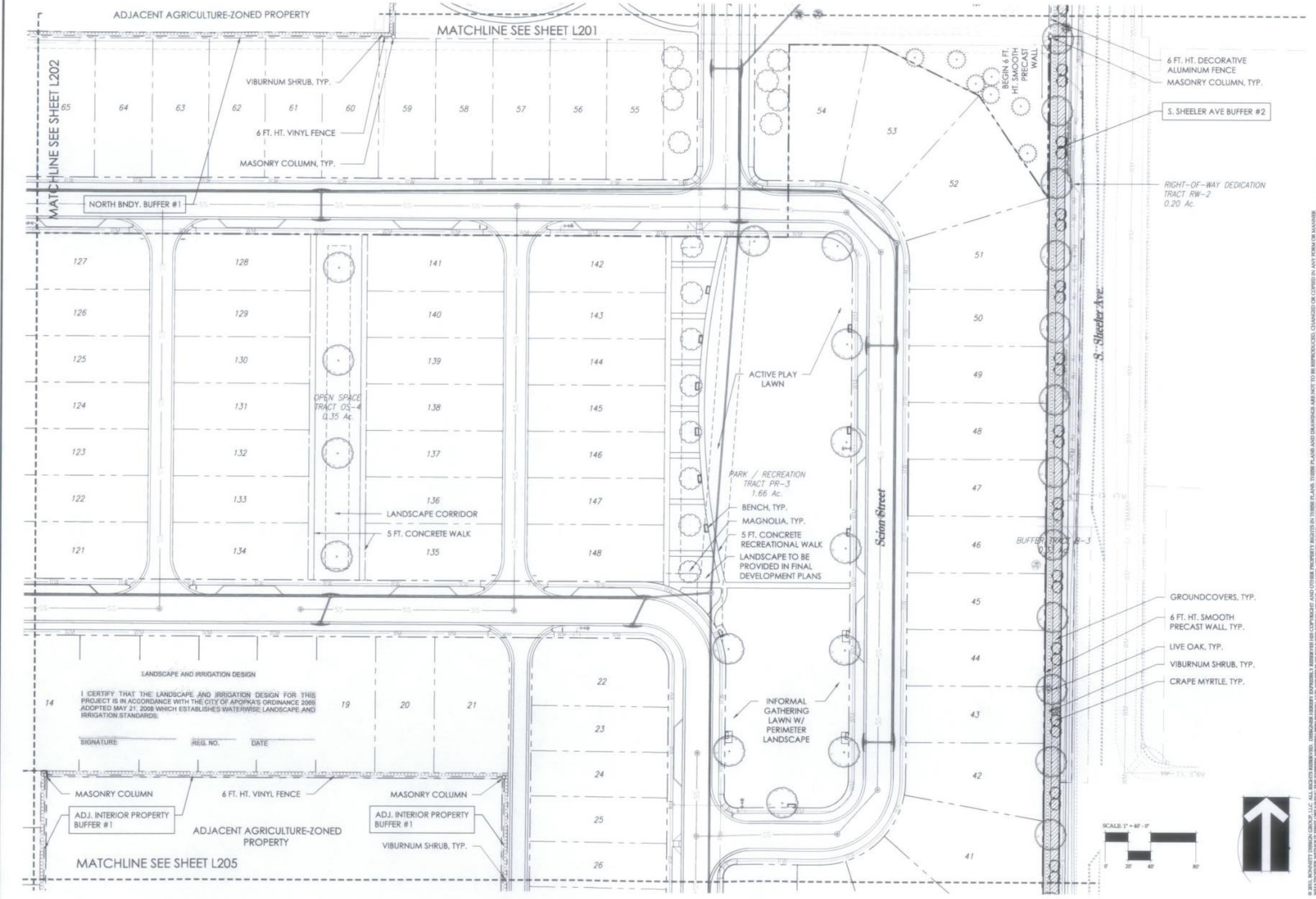
Silver Oak
Community Landscape Architecture
Surrey Homes, LLC
APOPKA, FLORIDA
LANDSCAPE PLAN

DATE: May 5, 2015
DRAWN BY: WCC/TWB
CHECKED BY: TWB
JOB NUMBER: 2015.112
FILE NAME: 2015.112_SRRBY HOMES-SILVER OAK, LA-BASE
[REDACTED]
REVISIONS:

© Todd W. Brunetti, M.A. # P.00007218

L201





LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2066 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.
SIGNATURE _____ REG. NO. _____ DATE _____
MASONRY COLUMN 6 FT. HT. VINYL FENCE MASONRY COLUMN
ADJ. INTERIOR PROPERTY BUFFER #1 ADJ. INTERIOR PROPERTY BUFFER #1
VIBURNUM SHRUB, TYP.

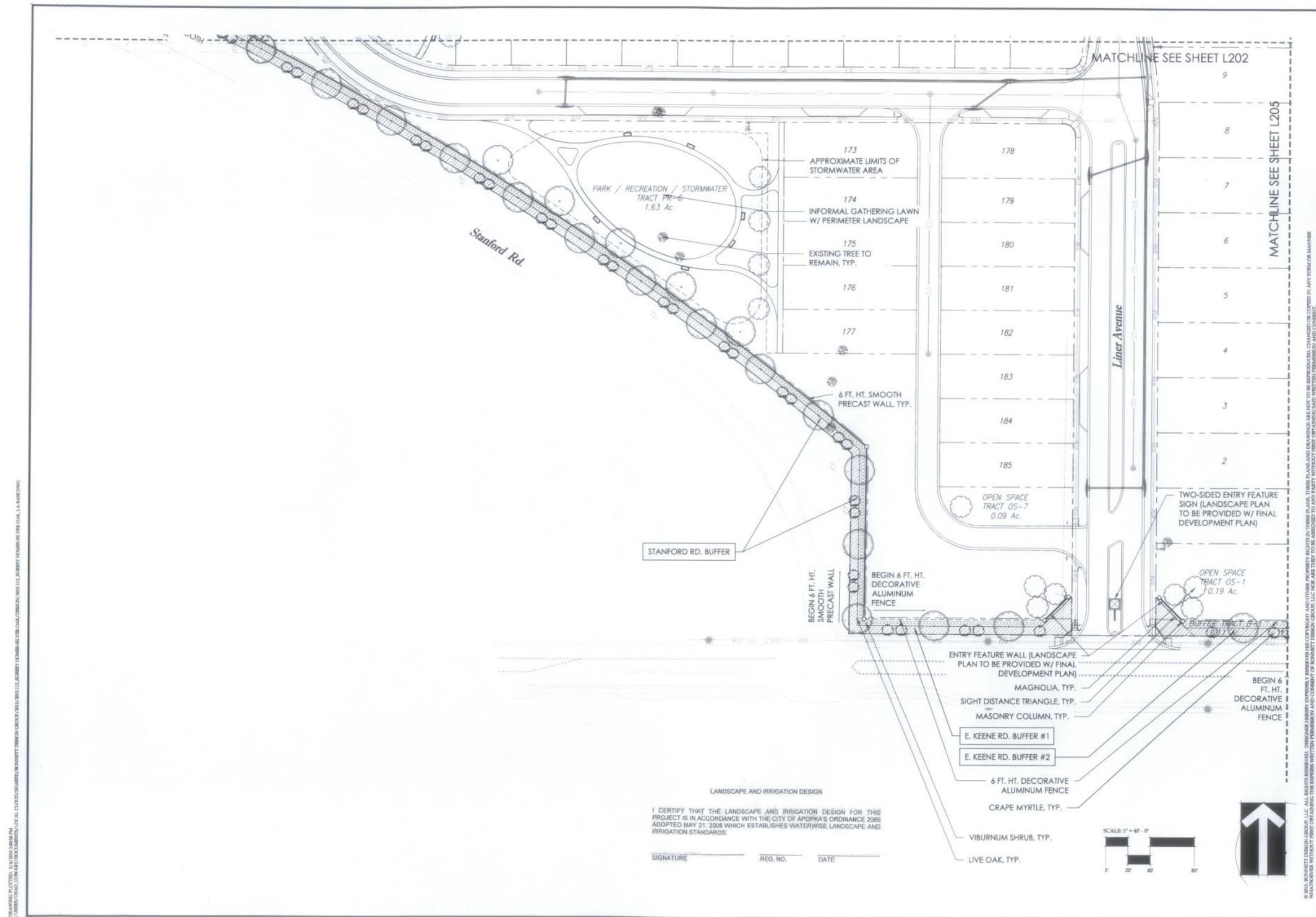
BONNETT design group, llc
landscape architecture
community planning
FL LC 26000341
151 Circle Drive
Maitland, FL 32751
407.822.1588 voice
407.354.5363 fax

Silver Oak
Community Landscape Architecture
Surrey Homes, LLC
APOPKA, FLORIDA
LANDSCAPE PLAN

DATE:	May 5, 2015
DRAWN BY:	WCC/TWB
CHECKED BY:	TWB
JOB NUMBER:	2015.112
FILE NAME:	2015112 SURREY HOMES-SILVER OAK LANSAP
REVISIONS:	

L203

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Silver Oak
Community Landscape Architecture
Surrey Homes, LLC
APOPKA, FLORIDA
LANDSCAPE PLAN

L204

The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as guide only. If a discrepancy occurs between the plans and the plant list, the plans shall control.

The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shall be legally liable for any damage caused by the instability of any plant material. Staking of trees and palms, if required, shall be done utilizing a method agreed upon by the Landscape Architect.

All plant material and sodded areas shall have an automatic underground irrigation system providing 100% coverage.

PLANT SPECIFICATIONS

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are delivered to the site. The plants shall have tops which are good quality and in a healthy growing condition. Established container grown plant material shall be grown in that container sufficiently long enough for the new fibrous roots to have developed enabling the root mass to retain it's shape when removed the container. Plants which have become root bound in the container are unacceptable.

FERTILIZER

Application Rates:

Sodded areas shall receive an application of the granular fertilizer (16-4-8) at a rate of 1/2 lb. of Nitrogen per 1,000 square feet of sod area.

SOIL

MULCH

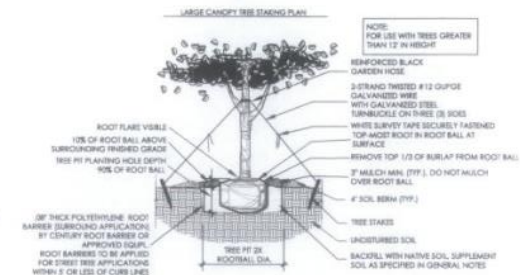
SOD

Refer to Landscape Plan for limits of sod.

Sod shall be free of weeds and pests. It shall be laid evenly with tight fitting joints and rolled. The sod shall contain moist soil which does not fall apart or tear when lifted.

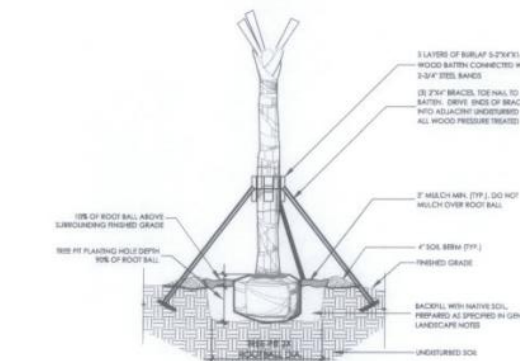
See plant list for specific sod species and locations.

See "Fertilizer" for requirements of all sodded areas.

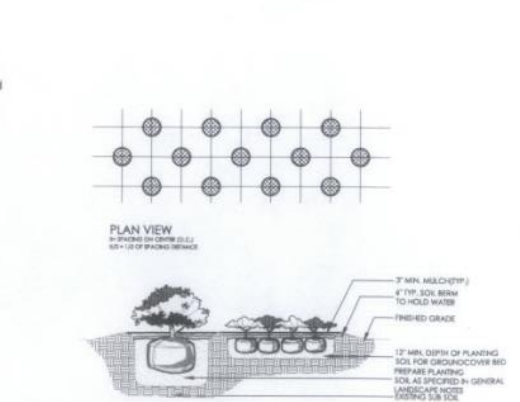


LARGE CANOPY TREE PLANTING DETAIL

N.T.S.



PALM PLANTING DETAIL
N.T.S.



SHRUB AND GROUND COVER PLANTING DETAIL

NOTE:
AN IRRIGATION PLAN WILL BE PROVIDED WITH FINAL DEVELOPMENT PLANS

Symbol	Quantity	Botanical Name	Common Name	Seed/Flower	Season	Nature	Onset/Interest
QV1	91	<i>Lupinus termis</i> indica 'Mukges'	Mukges Lavender Grape Myrtle	1'-10" x 5'-6" multi-trunk	AS	no	high
QV2	92	<i>Magnolia grandiflora</i> 'D.D. Blanchard'	Southern Magnolia	7' cal., 10'-12" to 4'-6" apt	AS	yes	high
QV3	93	<i>Quercus virginiana</i>	Live Oak (Rubus and Pine)	7' cal., 12'-14" to 4'-6" apt	AS	yes	high
QV2	85	<i>Quercus virginiana</i>	Live Oak (40' feasteral Luni)	3.5' cal., 12'-14" to 4'-6" apt	AS	yes	high
QV3	202	<i>Quercus virginiana</i>	Live Oak (30' feasteral Luni)	3.5' cal., 12'-14" to 4'-6" apt	AS	yes	high
TD	28	<i>Teucrium dictamnus</i>	Bald Cypress	3' cal., 12'-14" to 4'-6" apt	AS	yes	high
Others							
Yes	2678	<i>Viburnum coccineum</i>	Sweet Viburnum	7' gal., 30'-35" to 36" apt.	30' a.c.	no	yes
Soil		<i>Passiflora notatum</i> 'Argentine'	Argentine Bahia Soil	semi green soil soil - weed free	soil	no	high

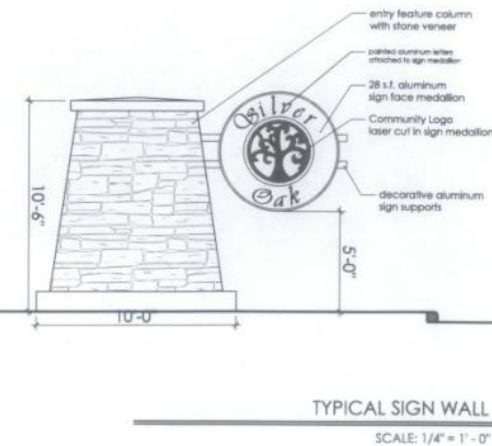
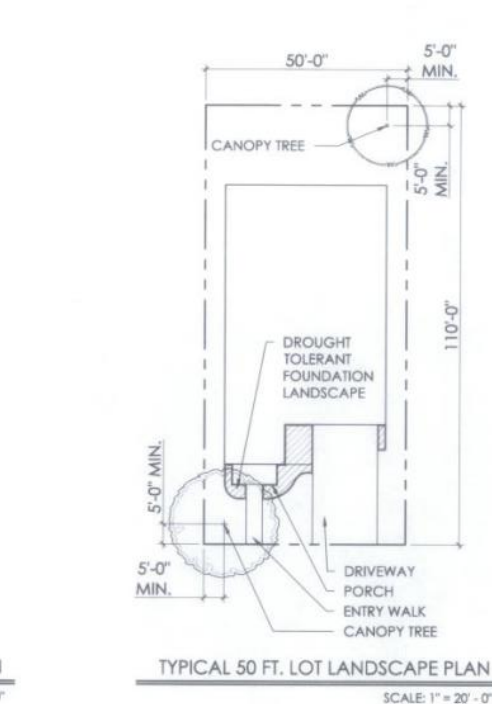
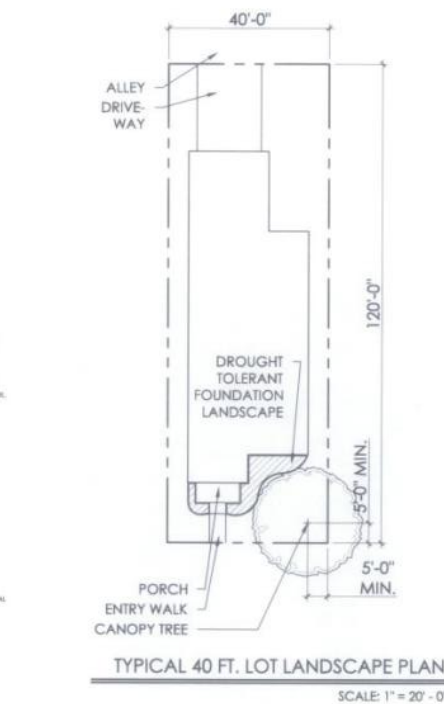


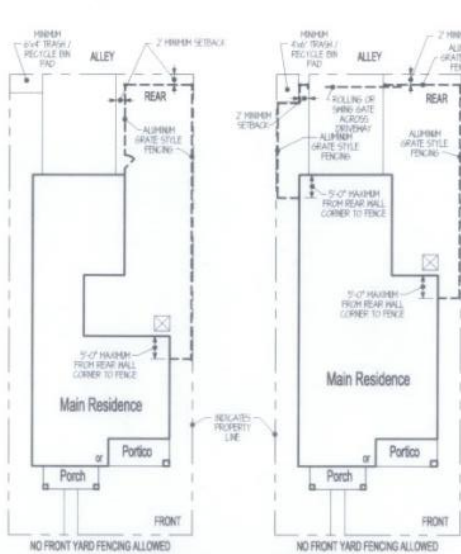
EXHIBIT "G"



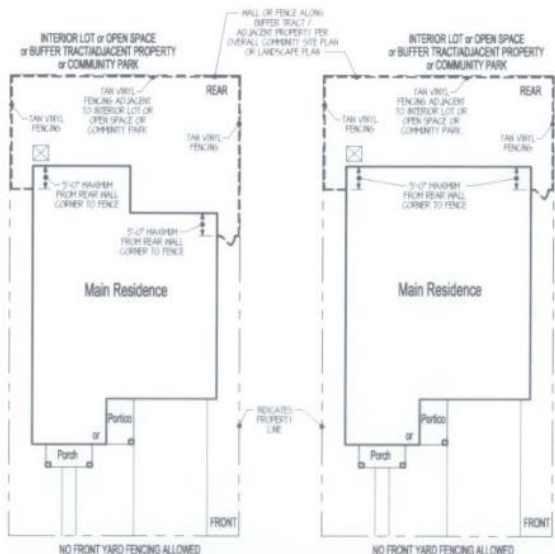
CONCEPTUAL ALUMINUM WROUGHT IRON
GRATE STYLE FENCE



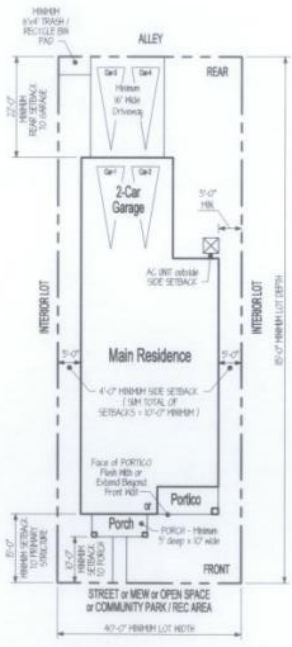
CONCEPTUAL
TAN VINYL OPAQUE STYLE FENCE



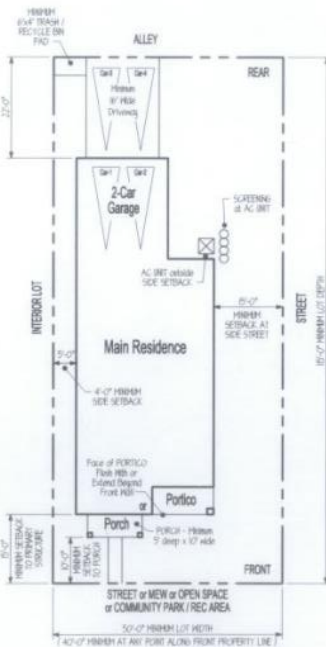
CONCEPTUAL FENCING PLAN FOR
40' LOT PROTOTYPE



CONCEPTUAL FENCING PLAN FOR
50' LOT PROTOTYPE



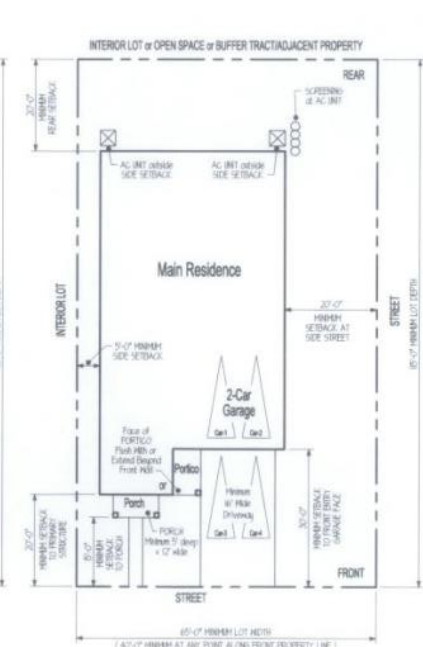
40' INTERIOR LOT PROTOTYPE



40' CORNER LOT PROTOTYPE



50' INTERIOR LOT PROTOTYPE



50' CORNER LOT PROTOTYPE

CONCEPTUAL INDIVIDUAL SITE PLANS

PLAN REVISION
DATES:
14-12-15 DRC SUBMITTAL

**SURREY
Homes**

**SURREY
HOMES
LLC**

1133 LOUISIANA AVE.
SUITE 108
WINTER PARK, FL
32789
(407) 496-2222
(7) 321-3817-2599
CBC056823

SILVER OAK SUBDIVISION
CONCEPTUAL PLAN
CITY OF APOPKA, FL.

INDIVIDUAL SITE PLANS
FENCING PLANS
DESIGN STANDARDS

Sht. A-1



50' W LOT - CONCEPTUAL STREET FRONT ELEVATIONS



40' W LOT - CONCEPTUAL STREET / MEW FRONT ELEVATIONS

PLAN REVISION
DATES:
14-23-15 DRG SUBMITTAL

SURREY
Homes

**SURREY
HOMES
LLC**

1133 LOUISIANA AVE.
SUITE 106
WINTER PARK, FL
32789
(O) 407-695-2222
(F) 321-397-2599
CBC056823

SILVER OAK SUBDIVISION
CONCEPTUAL PLAN
CITY OF APOPKA, FL.

FRONT BLDG. ELEVATIONS
DESIGN STANDARDS

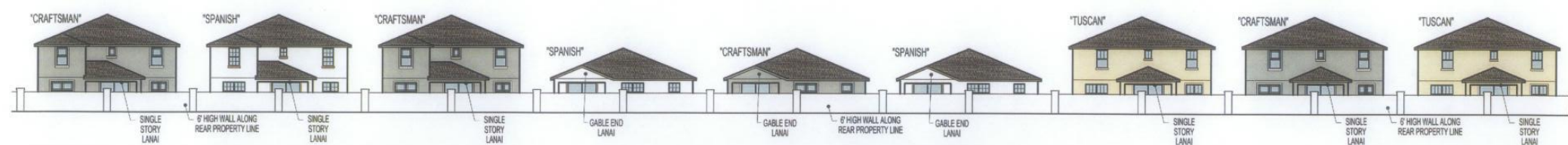
Sht. A-2



MAIL KIOSK STREET ELEVATION
"CRAFTSMAN"



COMMUNITY BUILDING STREET ELEVATION
"TUSCAN / SPANISH"



REAR ELEVATION FACING "SHEELER AVENUE" (Lots 38 thru 54)

PLAN REVISION
DATES:
04-23-18 DRG SUBMITTAL

SURREY
Homes

**SURREY
HOMES
LLC**

1133 LOUISIANA AVE.
SUITE 108
WINTER PARK, FL
32789
(C) 407-695-2222
(F) 321-397-2599
CBC056823

**SILVER OAK SUBDIVISION
CONCEPTUAL PLAN**
CITY OF APOPKA, FL.

REAR ELEVATION AT SHEELER AVE.
MAIL KIOSK ELEVATION
COMMUNITY BUILDING ELEVATION
DESIGN STANDARDS

Sht. A-3

ORDINANCE NO. 2373

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE III TO ESTABLISH A SMALL LOT OVERLAY ZONING DISTRICT; PROVIDING FOR APPLICABILITY; DIRECTIONS TO THE CITY CLERK; SEVERABILITY; CONFLICTS; AND AN EFFECTIVE DATE.

WHEREAS, Section 163.3202(1), Florida Statutes, requires that the City of Apopka, Florida (the "City") adopt or amend and enforce land development regulations that are consistent with and implement the City's adopted comprehensive plan; and

WHEREAS, Section 163.3201, Florida Statutes, encourages the use of innovative land development regulations and requires that all land development regulations be combined into a single land development code for the City; and

WHEREAS, from time to time, amendments and revisions to the City's adopted comprehensive plan (the "Growth Management Plan") and progress in the field of planning and zoning make it necessary or desirable to amend or revise the land development regulations of the City; and

WHEREAS, the City Council of the City of Apopka, deems it advisable to amend Article III of the Apopka Land Development Code establishing the Small Lot Overlay Zoning District; and

WHEREAS, the Apopka City Council hereby finds the Small Lot Overlay Zoning District is to provide flexibility for a dynamic housing market; implement Comprehensive Plan policies that promote housing diversity; provide transition between lower density residential areas and more intense development such as commercial, office, industrial or other non-residential land uses, to provide transition between lower density residential areas and limited access highways; to create an increase in development options for properties assigned medium and high density future land use designations; to promote infill development while preserving the character of the existing residential neighborhoods; and to promote diversity in the size and type of new residential developments thereby providing housing opportunities for various family sizes. The Overlay District delineates permitted uses and prohibitions or limitations on certain uses, as well as certain design standards; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I. The Code of Ordinances of the City of Apopka, Part III, Land Development Code, Article III, is hereby amended to add Section 3.04.00 Small Lot Overlay Zoning District to read as set forth in Exhibit "A" attached hereto.

SECTION II: APPLICABILITY: Unless otherwise stated, this Ordinance shall apply to cover all development within the delineated overlay district. Developments holding valid Final Development Plans (FDP) or Orders (FDO) shall not be subject to the provisions of this Ordinance unless the FDP/FDO expires or is revised subsequent to the effective date of this Ordinance.

ORDINANCE NO. 2373
PAGE 2

SECTION III: DIRECTION TO THE CITY CLERK: The City Clerk, or the Clerk's designee, is hereby authorized to include this amendment in the Apopka Code of Ordinances of the City of Apopka, Florida.

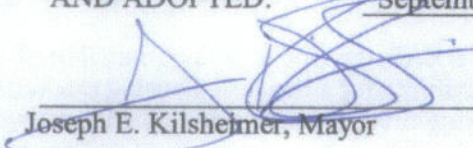
SECTION IV: SEVERABILITY: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION V: CONFLICTS: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VI: EFFECTIVE DATE: That this ordinance shall take effect upon passage and adoption.

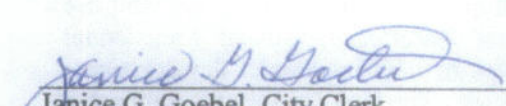
READ FIRST TIME: August 20, 2014

READ SECOND TIME
AND ADOPTED: September 3, 2014



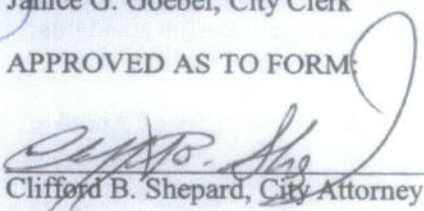
Joseph E. Kilsheimer, Mayor

ATTEST:



Janice G. Goebel, City Clerk

APPROVED AS TO FORM:



Clifford B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: June 20, 2014
August 15, 2014

DRAFT

CITY OF APOPKA

3.04.00 - SMALL LOT OVERLAY ZONING DISTRICT

[Add new Section to Article III of the City's Land Development Code]

Section 3.04.00 - Small Lot Overlay Zoning District

Section 3.04.01 – Definition

Small Lot: For purposes of Section 3.04.00, a lot with a width of less than 70 feet or an area less than 7,000 sq. ft. that accommodates a single family, duplex, or townhome dwelling unit.

Section 3.04.02 - Purpose

The purposes of the Small Lot Overlay District to:

1. Provide flexibility for a dynamic housing market;
2. Implement Comprehensive Plan policies that promote housing product diversity;
3. Provide transition between lower density residential areas and more intensely developed commercial, office, industrial or other non-residential land uses, or limited access highways;
4. To increase development options for property assigned a high density future land use designation;
5. Promote infill development while preserving the character of the existing residential neighborhoods; and
6. Promote diversity in the size and type of new residential developments to provide housing opportunities for various family sizes and lifestyles.

Section 3.04.03 – Applicability

1. The regulations of this section apply to all properties within the Small Lot Overlay District delineated within a zoning ordinance, and shall apply to new development and redevelopment occurring therein.
2. Those parcels that are split by the Overlay District line shall be considered to be wholly within the boundary of the Overlay District if the majority of the acreage is located within the Overlay District.

Section 3.04.04 - Review Process

Application for a Small Lot Overlay District shall follow the same review and hearing process as a change of zoning application. A master site plan and development standards shall accompany the zoning application for the Overlay District and shall address the requirements of Section 2.02.18.K. Design details and illustrations for all residential structures, accessory structures, recreation facilities and equipment, mailbox and mail kiosks, walls and fences, and other structures as requested by the Community Development Director, shall be included with the development standards.

Section 3.04.05 - Location Criteria

1. A Small Lot Overlay District shall comply with each of the following location criteria:
 - a. Property must be assigned both a Residential High Future Land Use Designation and an R-3 zoning category.
 - b. A Small Lot Overlay District shall not be located within a half mile from another Small Lot Overlay District. This minimum separation distance is waived if at least fifty percent (50%) of the residential lands within a half mile radius of the Overlay District are assigned a zoning district that requires a minimum single-family residential lot size of 8,000 sq. ft. or larger.
 - c. Property comprising a Small Lot Overlay District shall be contiguous and generally compact.
2. A boundary line of a Small Lot Overlay District must satisfy one (1) of the following location criteria:
 - a. Located within a half mile from a commercial, office, or industrial use or zoning district comprising more than ten acres;
 - b. Located within a half mile from an entrance to a limited access highway, or abutting a limited access highway.

Section 3.04.06 - Development Standards

1. Unless otherwise addressed within Section 3.04.00, the development standards established for the R-3 zoning district shall apply.
2. Minimum and Maximum Area Requirements. A Small Lot Overlay District shall comprise a minimum of fifteen (15) acres but shall not exceed a maximum of eighty (80) acres.

3. **Housing Types and Mix.** For development proposing a small lot width of less than seventy (70) feet, a diversity of lot sizes or housing types shall be provided. If single family or duplex lots are proposed with a width less than fifty (50) feet, at least one-half ($\frac{1}{2}$) of the single family and/or duplex lots shall have a minimum width equal to or greater than fifty (50) feet. Apartment buildings are not allowed within the Small Lot Overlay District.
4. **Common Open Space.**
 - a. A minimum of thirty percent (30%) of the developable land shall be placed in useable open space. The common open space must be arranged to maximize usability.
 - b. For Small Lots with a front entry garage and a lot width less than fifty (50) feet, no more than twelve such lots shall occur in a row on the same side of the a street without separation by a common open space area.
5. **Landscape Bufferyard.** Minimum landscape buffer width adjacent to a local or collector road shall be fifteen (15) feet, and twenty (20) feet adjacent to an arterial road.
6. **Alleyways.** All alleyways shall be placed within a separate tract owned by a homeowners association. Street lighting shall be provided along alleyways, particularly at intersections of an alley and a street.
7. **Amenities and Recreational Facilities.** The type and value of amenities and recreation facilities or equipment shall be evaluated based on the number of dwelling units within a proposed in the master site plan.
8. **Vehicle Access Points.**
 - a. All townhome and duplex dwelling lots shall have a vehicle access point via a rear alley; no less than two-thirds of the single family lots with a width less than fifty (50) feet shall have vehicle access points via a rear alley.
 - b. All Small Lot, duplex and townhome lots shall include a two-car enclosed garage.
 - c. A minimum of four (4) parking spaces shall be provided for each single family, duplex or townhome unit unless otherwise determined through a parking study that indicates fewer parking spaces would be needed. The parking study must be accepted by the City Engineer and approved by the City Council. If a lot is unable to accommodate a minimum of four parking spaces, up to two (2) parking spaces may be placed within parking lots or on-street parking spaces located outside the street travel lane.
 - d. Where on-street parking abuts a residential lot, vehicle access to a garage must occur from a rear alley.

9. Building Setbacks

	Minimum Lot width (feet) ⁽¹⁾	Minimum Yard Setbacks (feet)				Maximum Lot Coverage (%)
		Front ⁽²⁾	Rear ⁽³⁾	Side ⁽⁴⁾	Corner	
Small Lot	40	15/10	20	4 min.; 10 total	15	75%
Small Lot	50	20	20	5	20	70%
Small Lot	60	20	20	5	20	70%
Townhome	18, 20, 22, 25	15/10	15	⁽⁵⁾	15	80%

- 1) Width of a single family or duplex lot shall not be less than forty (40) feet along any point of the length of the lot.
- 2) Setback to primary structure\setback to porch.
- 3) Setback to primary structure.
- 4) Side yard setback is zero where duplex and townhome walls separate dwelling units.
- 5) Twenty feet between buildings.

10. Garage Setbacks

a. Single Family Home or Duplex

- 1.) Front-entry garage: minimum 30 feet from front property line.
- 2.) Side-entry garage: minimum 25 feet from front or side yard property line
- 3.) Rear-entry garage: minimum 22 feet from the rear property line.

b. Townhomes.

- 1.) Front-entry or side-entry garage is not allowed.
- 2.) Rear-entry garage (as measured from the rear property line):
 - (a) Garage placed ten or fewer feet from rear property line: minimum of five (5) feet.
 - (b) Garage placed more than ten feet from rear property line: minimum of twenty-two (22) feet.

11. Individual townhome buildings shall have no more than six attached dwelling units.

12. Each single family structure, duplex unit, or townhome dwelling unit shall be placed within its own lot.

13. Along an Overlay District perimeter, small lots shall not abut existing platted residential lots with a lot width of seventy five (75) feet or greater unless a ten (10) foot buffer tract with a six-foot high buffer wall, or alternatively a twenty (20) foot landscape bufferyard is provided.

14. Any portion of a vehicle parked within a driveway shall not extend into any area of an alley, street, sidewalk, or public right-of-way. Vehicles parked within a driveway located on a residential lot shall be oriented perpendicular to the street with the front or back of the vehicle facing a garage door. This regulation shall also be incorporated into the homeowners association code, covenant and restriction document.

Section 3.04.07 - Design Guidelines

1. Subdivision design and site layout will avoid the appearance of a long row of dwelling units. Open space and street pattern shall be designed to establish breaks between housing rows.
2. Subdivision design occurs in block form with similarly designed housing types grouped together. Streets are interconnected and cul-de-sacs are discouraged.
3. Streets and alleyways are to be designed to accommodate turning movements for large utility and emergency vehicles.
4. Subdivision and street design shall allow for efficient garbage collection and utility service. Right-of-way and streets to be designed to provide sufficient space for sanitation vehicles to access refuse containers. Where on-street parking is provided, the development plan must demonstrate that the outside travel lanes will allow sanitation service vehicles to efficiently serve refuse containers within driveways or other locations.
5. Pedestrian systems are an integral part of each development. Community design shall incorporate street and pathway systems that are pedestrian and bicycle friendly.
6. Unless otherwise accepted by the Local U.S. Post Master, mail delivery for Small Lots with a width less than fifty (50) feet and townhome mail boxes shall occur at a sheltered mailbox kiosk. Mailbox kiosks shall be covered by a shelter structure sufficient to project the patron and delivery personnel from inclement weather. Design and appearance of the mailbox kiosk shall be compatible with architectural theme for homes in the residential community, and shall meet the intent of the Development Design Guidelines. Development applicant must obtain letter from Local U.S. Postal Master accepting proposed mailbox or kiosk system.
7. Mailboxes located at the front of a single family lot shall be decorative and have a uniform color and appearance. Mailboxes are not allowed along a rear alley.

Section 3.04.08 – Architectural Appearance and Building Design

1. Minimum Residential Livable Area. No less than seventy-five percent (75%) of all single-family or duplex dwelling units shall have a minimum livable area of 1,700 square feet. The minimum livable area of a single family home or duplex dwelling unit shall not be less than 1,500 square feet, and not less than 1,350 square feet for a townhome unit.
2. Duplexes and townhomes must be designed to architecturally blend with the surrounding single-family dwellings.

3. Number of bedrooms provided for each residential type shall comply with the following minimum and maximum standards:

Residential Type	Minimum Number of Bedrooms	Maximum Number of Bedrooms
Single Family Home	2	4
Duplex Unit	2	3
Townhome Unit	2	3

4. Front building entrance shall be featured with a porch, portico, or similar entry-feature. A porch must have a minimum depth of five (5) feet and must be designed to accommodate at least two persons. A portico shall be flush with or extend beyond the front wall of the dwelling unit.
5. The rear of any residential building facing a public street or adjacent established residential neighborhood shall be treated with the same architectural quality as the front façade regarding fenestration, articulation and roofline. Substantial window areas shall overlook streets.
6. Single family and duplex units are limited to two stories; townhome buildings abutting or near single family residential shall be limited to two stories.
7. Architectural exterior elevations shall vary among all housing types but have color unified schemes to create diversity in exterior appearances and style.
8. A front entry garage does not extend beyond the front building wall.

Section 3.04.09 - Accessory Structures

1. No sheds or similar outdoor storage facilities are allowed within a Small Lot.
2. No swimming pools are allowed within a Small Lot.
3. Metal, vinyl, or other similar materials shall not be used for patios, porticos or porches that extend beyond the wall of the primary residential structure. Materials used for these features shall be compatible with those of the primary residential structure.
4. Fences shall not be allowed within front yards abutting common areas unless the fence has a height of four feet or less with a gate that leads to a public walkway. Fences located at the rear or side yard of lots less than fifty (50) feet wide or any lot with access from a rear alley, shall be a wrought-iron grate style fence to avoid appearance of clutter and to allow visibility along alleyways. A fence within a rear yard of any lot shall not exceed the height of any abutting common area wall.

Section 3.04.10 - Utilities

Air conditioning units or similar utilities shall be placed behind the residential building and screened from view from a street. If the side yard setback is 7.5 feet or greater, then the air condition unit or similar utility may be placed in a side yard.

Section 3.04.11 – Maintenance and Community Management

1. All dwelling units with the Small Lot Overlay District shall be subject and beholden to a single master homeowners association. The homeowners association shall be responsible for enforcing all conditions and terms of the code, covenants and restrictions established within public records.
2. All common areas and lawn areas within any lot with a width less than fifty (50) feet shall be maintained the property owners association unless another maintenance program is approved by the City Council. Any shared residential driveways shall be maintained by the homeowners association. All parking spaces adjacent to or outside the travel lanes shall be maintained by the homeowners association unless otherwise accepted by the City Council as part of the public right-of-way.
3. A disclaimer statement shall be incorporated into the homeowners association's code, covenant, and restrictions document notifying the property owners that should the Association fail to maintain commons areas or required laws, the City may hold the Association or the property owner responsible.

EXHIBIT "B"

DEVELOPMENT DESIGN GUIDELINES

The Development Design Guidelines document is amended to incorporate a new Section 3.12, as follows:

Section 3.12., Mailbox Kiosk Design; Residential Design Standards, Development Design Guideline

Design and appearance of a mailbox kiosk are compatible with the architectural theme for homes and community buildings in the residential community. Mailbox kiosks are covered by a shelter structure sufficient to protect the patron, mail, and delivery personnel from inclement weather. Acceptable and Undesirable design examples appear below.

A. Mailbox Kiosk (aka Cluster Mailbox Shelters)

1. Acceptable Design Examples



2. Undesirable Design Examples



Backup material for agenda item:

1. MASS GRADING PLAN - Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., for property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No. 17-21-28-0000-00-029)



CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING
☐ ANNEXATION
☐ PLAT APPROVAL
☐ OTHER:

DATE: May 12, 2015
FROM: Community Development
EXHIBITS: Vicinity Map
Mass Grading Plan

SUBJECT: MASS GRADING PLAN - MARDEN RIDGE APARTMENTS - PHASE 1A

Request: RECOMMEND APPROVAL OF THE MASS GRADING PLAN FOR MARDEN RIDGE APARTMENTS (PARCEL ID NUMBER: 17-21-28-0000-00-029)

SUMMARY

OWNERS: Emerson Point Associates, LLLP

APPLICANT: MMI Development, Inc., c/o Michael E. Wright, Esq.

ENGINEER: GAI Consultants, Inc., c/o Anthony Call, P.E.

LOCATION: Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the S.R. 414

EXISTING USE: Planted Pine

FUTURE LAND USE: Residential High (0-15du/ac)\Commercial

CURRENT ZONING: R-3

PROPOSED DEVELOPMENT: Apartment (272 units/5 Buildings) and Retail Commercial\Mass Grading of Final Development Plans

PROPOSED ZONING: Planned Unit Development (PUD/R-3/C-1)

TRACT SIZE: Apartments: 18.05 +/- Acres
Retail Commercial: 6.43 +/- Acres
Overall Site: 42.17 +/- Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 536 Units (35.74 ac)
PROPOSED: 272 Units (Phase 1B) on 18.05 ac

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Vacant Land; Ocoee Apopka Road
East (City)	Residential Medium (0-10 du\ac)	R-3	Vacant Land
East (County)	Low-Medium Density (0-10 un\ac)	R-2, R-3	Marden Garden apartments, Vacant Land
South (City)	Mixed Use	Mixed-EC	S.R. 414\vacant land\Emerson Park
West (City)	Industrial\Residential Medium Density	R-3 I-1	S.R. 451\Warehouse\vacant land

ADDITIONAL COMMENTS: The proposed mass grading plan for the proposed Marden Ridge apartment project allows site grading to occur consistent with the ground elevations and contours established within the Marden Ridge Apartment-Phase 1B Master Site Plan\Preliminary Development Plan. All required permits from the St. Johns Water Management District and other state agencies must be obtained by the applicant prior to commencing any grading activities. Planted pine has already been harvested from the subject property, leaving few canopy trees.

HAUL ROUTE: Marden Road south to Keene Road; W. Keene Road eastward to S.R. 414, as illustrated on Sheet C3.00 of the Mass Grading Plan.

ENVIRONMENTAL: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any grading or further site construction activity.

TREE PROGRAM: The planted pine located on this site is exempt from the arbor mitigation requirements and was harvested for silviculture purposes. The maximum tree stock formula requires a total of 2,752 tree inches to be replanted onto the site. The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program.

SCHOOL CAPACITY REPORT: No development activity can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement. The schools designated to serve this community are the following: Wheatley Elementary, Wolf Lake Middle and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

May 12, 2015 – Planning Commission (5:01 pm)
June 3, 2015 – City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Marden Ridge Apartments Ph.1A Mass Grading Plan for the property owned by Emerson Point Associates, LLLP.

Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



Marden Ridge Apartments
Emerson Point Associates, LLLP
MMI Development, Inc. c/o Michael E. Wright, Esq.
Retail Commercial: 6.43 +/- Acres
Apartments: 18.05 +/- Acres (272 Units)
42.17 +/- Total Acres
Parcel ID #: 17-21-28-0000-00-029

VICINITY MAP



MARDEN RIDGE APARTMENTS - PHASE 1A MASS GRADING OF FINAL DEVELOPMENT PLANS

APOPKA, FLORIDA

Prepared By:



gai consultants

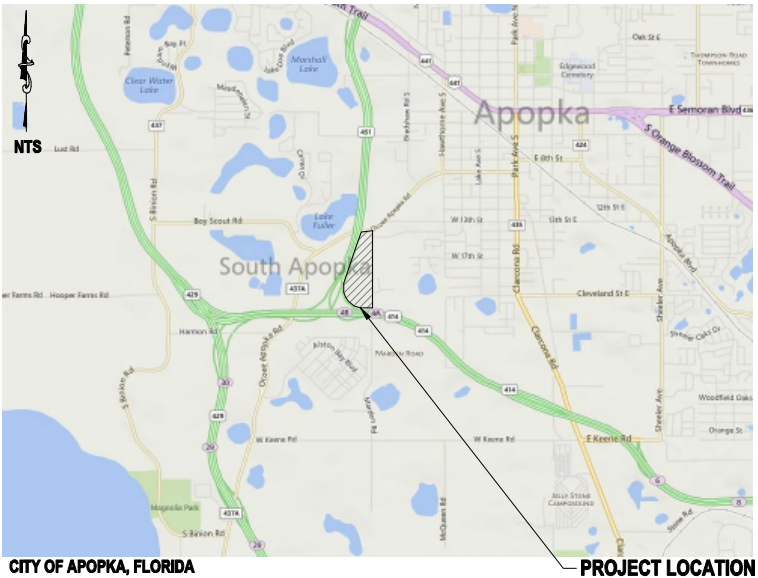
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618 EAST SOUTH STREET
S U I T E 7 0 0
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398



Prepared For:
EMERSON POINT ASSOCIATES, LLLP
1350 North Orange Avenue, Suite 250
Winter Park, Florida 32789
(407) 385-0664

LOCATION MAP



CONTACT LIST

OWNER'S REPRESENTATIVE
Emerson Point Associates, LLLP
1350 North Orange Avenue
Suite 250
Winter Park, Florida 32789
Attn: Mr. Michael E. Wright, Esq.

CIVIL ENGINEERS
GAI Consultants, Inc.
618 East South Street
Suite 700
Orlando, Florida 32801
(407) 423-8398
Attn: **Anthony S. Call, P.E.**
Jaime L. Igua, P.E.

SURVEYOR
On the Mark Surveying, LLC
143 Meadow Boulevard
Sanford, Florida 32771
Attn: Corey A. Hopkins, PSM
Ph: (321) 626-6376

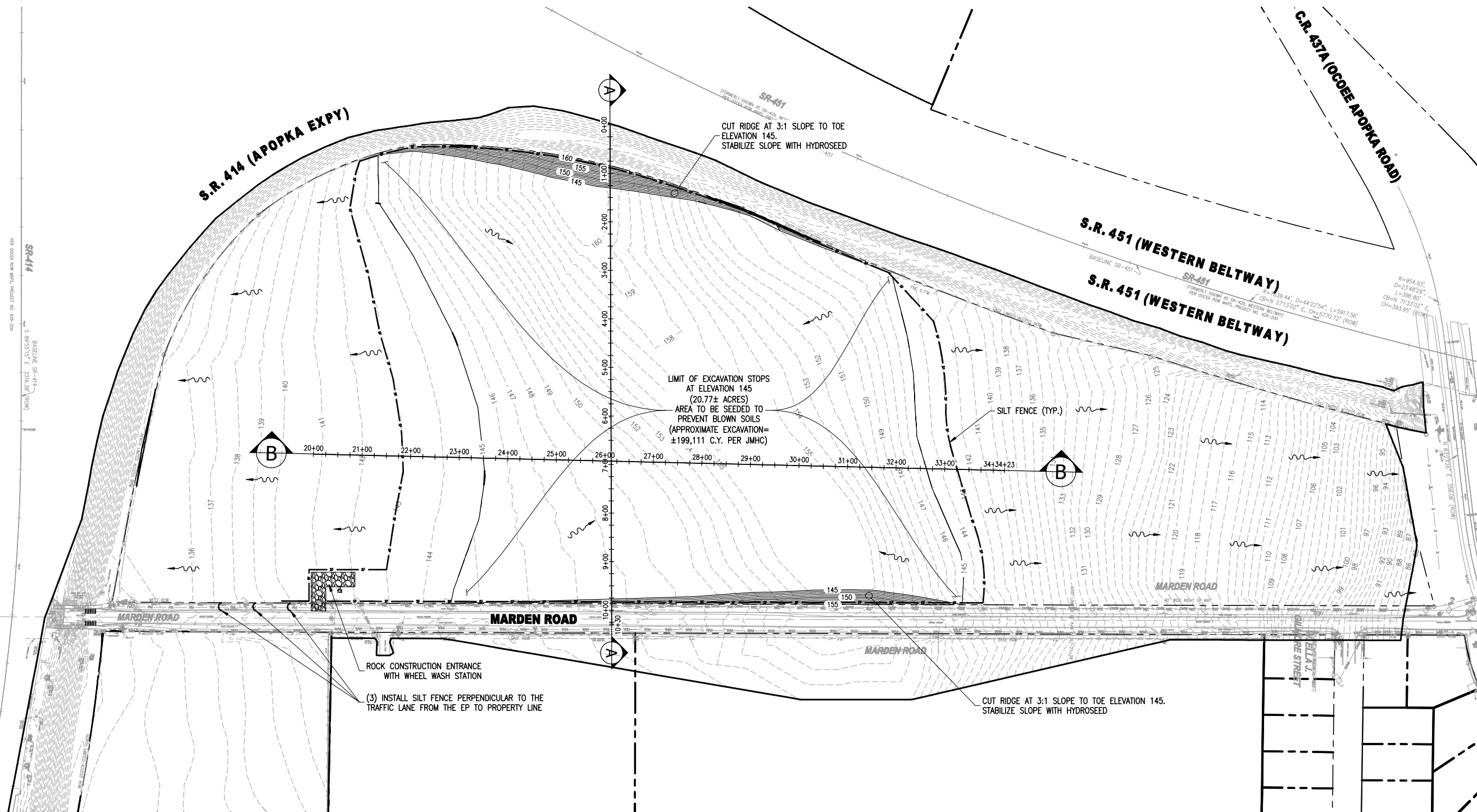
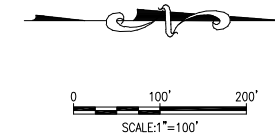
Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	MASS GRADING PLAN
C1.10	MASS GRADING PROFILES
C2.00	SWPPP & DEMOLITION NOTES AND DETAILS
C3.00	HAUL ROUTE PLAN

GAI PROJECT NO. A120273.03
ISSUED FOR: CITY OF APOPKA - P&Z
ISSUED DATE: APRIL 21, 2015

1. PRIOR TO START OF EARTHWORK ACTIVITIES THE CONTRACTOR SHALL FULLY IMPLEMENT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PER THE NPDES NOI PERMIT. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION FOR THE NOI TO DDEP.
2. PRIOR TO CLEARING AND GRUBBING, ALL SILT FENCE AND OTHER EROSION CONTROL DEVICES PLUS ANY SEDIMENT CONTROL BASINS SHALL BE INSTALLED AND OPERATIONAL.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED AT CONTRACTOR'S EXPENSE BY A SURVEYOR SELECTED BY THE OWNER.
4. ALL INDICATED MATERIALS TO BE CLEARED, GRUBBED AND REMOVED FROM THE CONSTRUCTION AREA INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: ALL TREES, STUMPS, ROOTS, BRUSH, TRASH, ORGANIC MATTER WITHIN THE SITE, CURBING, PAVING, MISCELLANEOUS STRUCTURES (IF ANY), AND OTHER DEBRIS.
5. GRUBBING SHALL CONSIST OF COMPLETELY REMOVING ROOTS, STUMPS, TRASH AND OTHER DEBRIS FROM SITE, SO THAT THE TOPSOIL IS FREE OF ROOTS AND DEBRIS. TOPSOIL IS TO BE LEFT SUFFICIENTLY CLEAN SO THAT FURTHER PICKING AND RAKING WILL NOT BE REQUIRED.
6. BURNING OF TREES, ROOTS, OR ANY KIND OF MATERIALS WILL NOT BE ALLOWED ANYWHERE ON THE SITE.

7. THE CONTRACTOR SHALL EXERCISE SPECIAL PRECAUTIONS FOR THE PROTECTION AND PRESERVATION OF TREES, SOD, FENCES, ETC., SITUATED WITHIN THE VICINITY OF THE PROJECT AREA OR TREE SAVE AREAS BUT NOT DIRECTLY WITHIN EXCAVATION AND/OR FILL LIMITS. THE CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE AS A RESULT OF HIS OPERATIONS.
8. TREES WHICH ARE SEVERELY DAMAGED OR DESTROYED BY CLEARING OPERATIONS OUTSIDE THE CLEARING LIMITS WILL BE PAID FOR BY THE CONTRACTOR IN WHOLE. MINOR DAMAGE INFLICTED TO TREE BRANCHES AND TRUNKS WILL BE REPAIRED, AT NO COST TO THE OWNER.
9. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S MUCK REMOVAL RECOMMENDATIONS PLAN LIMITED TO A MAXIMUM OF 10-FT OF DEPTH OR AS DIRECTED BY THE OWNER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY.
11. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY AND BE PLACED AND COMPACTED ACCORDING TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. STOCK PILES SHALL NOT BE PLACED WITHIN 5-FT OF LOT LINES.
12. THE SITE SHALL BE STABILIZED FOLLOWING CLEARING, GRUBBING AND EARTHWORK TO ESTABLISH THOROUGH COVERAGE OF GRASS. FINAL STABILIZATION SHALL ACHIEVE A MINIMUM OF 70% COVERAGE OF THE DISTURBED LAND AREA AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMAL COVERAGE SURVIVAL AND OVERALL SITE STABILIZATION IS ACHIEVED.
13. IF THE DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS IS REQUIRED, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND CONFORMING TO REQUIRED PERMITS.
14. THE ACCESS ROAD SHALL HAVE A SOIL TRACKING PREVENTION DEVICE INSTALLED AT ALL POINTS CONNECTING TO EXISTING ROADWAYS, AND SHALL CONFORM TO FDOT STANDARD INDEX 106.



NO.	DATE	BY	CHKD	APPROD	DESCRIPTION
4	4/21/15	AP	NG	ASC	ISSUED FOR PLANNING & ZONING
5	4/23/15	AP	NG	ASC	REUSED PER CITY COMMENTS
6	5/20/15	AP	NG	ASC	REUSED PER CITY COMMENTS
1	5/19/15	AP	NG	ASC	REUSED PER CITY COMMENTS

REVISIONS

SCALE:	1"=100'
DATE:	03-18-2015
DRAWN:	AP/MJC
CHECKED:	ASC
APPROVED:	ASC

MASS GRADING PLAN

33

ANTHONY S. CALL, P.E.
No. 67370



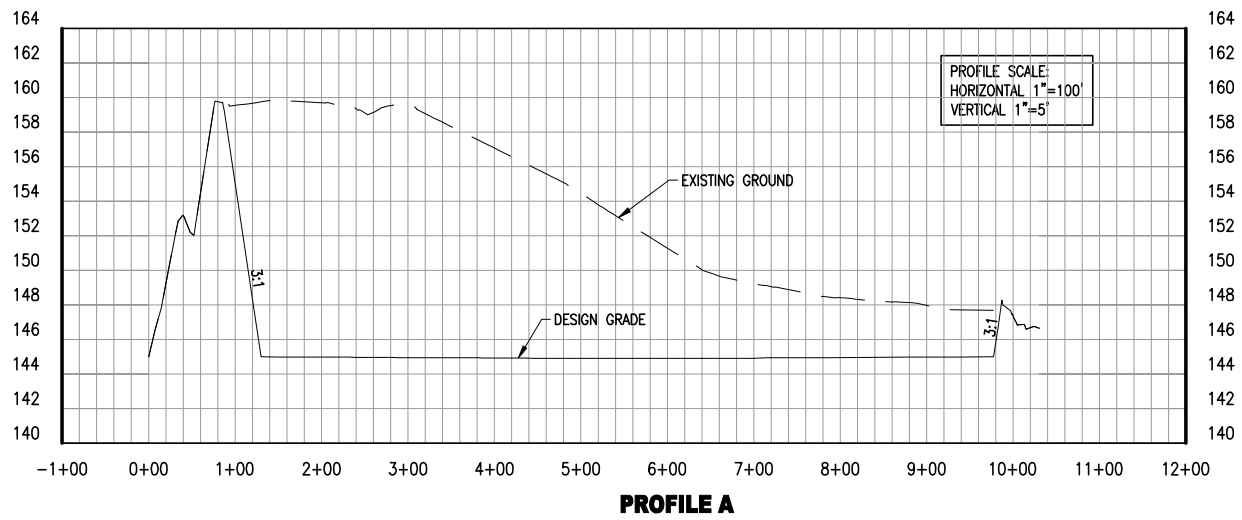
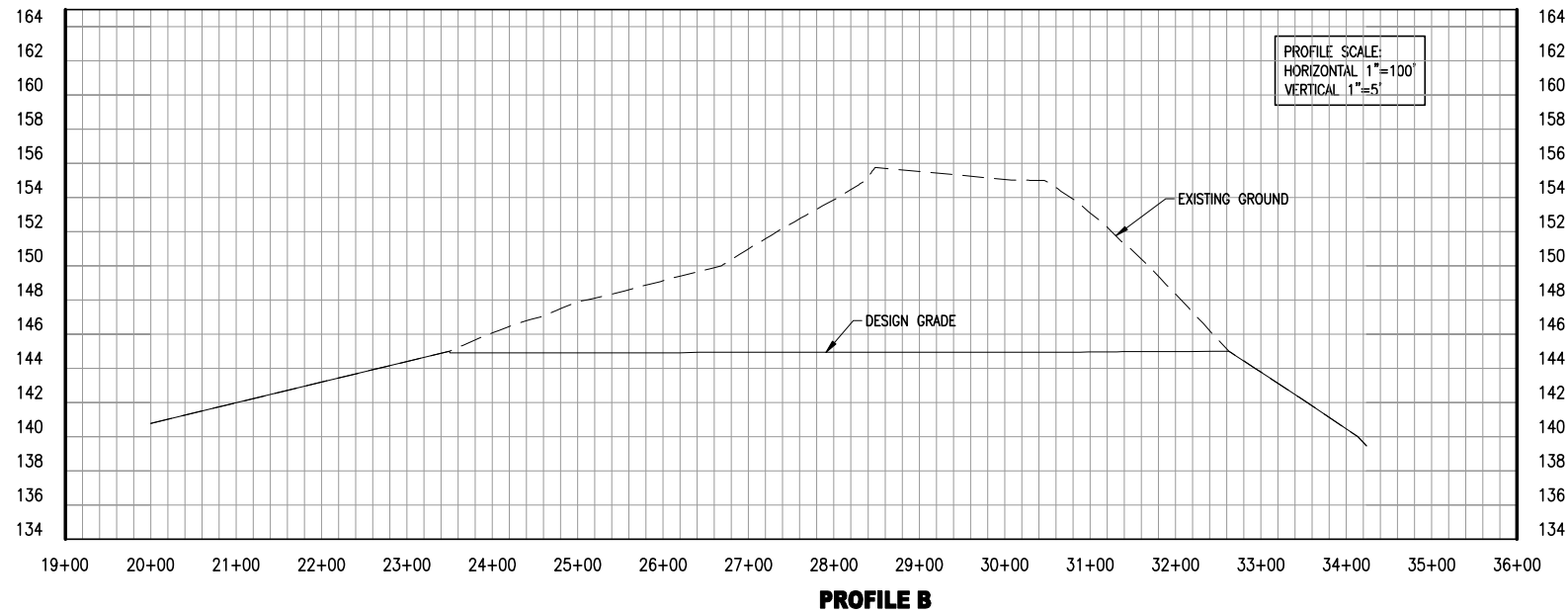
gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEF

C1.00

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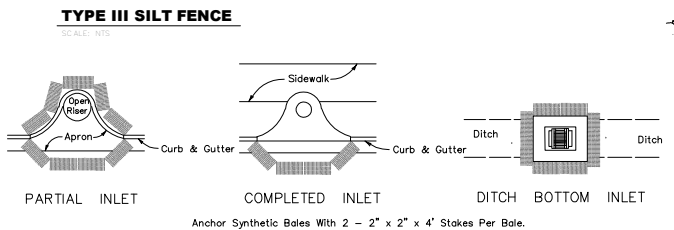
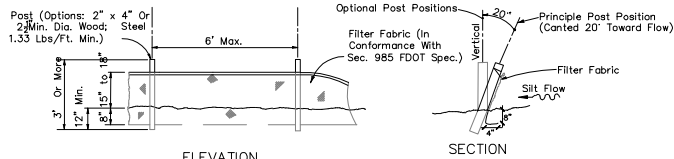


MASS GRADING PROFILES				
MARDEN RIDGE APARTMENTS - PHASE 1 MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN APOPKA, FLORIDA				
SEAL				
ANTHONY S. CALL, P.E. No. 67370				
 gai consultants EB 9951 618 SOUTH ST., SUITE 700 ORLANDO, FLORIDA 32801 PHONE: (407) 423-8398				
PROJECT NO./DASH NO. A120273.03				
SHEET C1.10				
REVISIONS				
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3	4/03/15	AP	ASC	REVISED PER CITY COMMENTS
2	3/20/15	AP	ASC	REVISED PER CITY COMMENTS
1	3/19/15	AP	ASC	REVISED PER CITY COMMENTS
	DATE	DWN	APPD	DESCRIPTION

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CONSTRUCTION ACTIVITIES AND CONTRACTOR RESPONSIBILITIES:

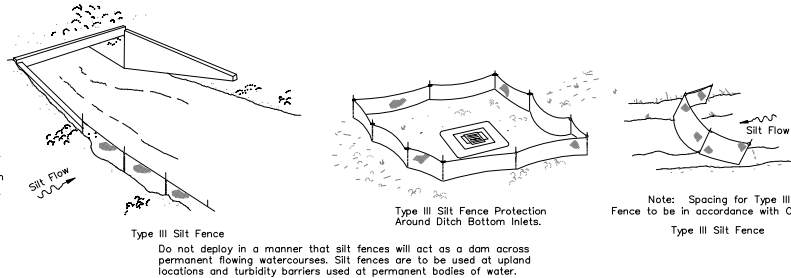
1. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND ABIDE BY ALL PERMIT CONDITIONS, INSPECTIONS, SCHEDULES, AND OTHER RELEVANT REGULATORY AGENCY RULES AND REGULATIONS.
2. BMPs: SYNTHETIC BALES OR SEDIMENT FILTER LOGS.
3. INLET PROTECTION: PERFORATED PIPE WRAPPED IN FILTER FABRIC (FILTER LOGS).
4. TEMPORARY SLOPE STABILIZATION: CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF TEMPORARY SOIL EMBANKMENT AND SHORING REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
5. POTENTIAL POLLUTANTS DURING CONSTRUCTION: DELETERIOUS, TOXIC, OR CONTAMINATED MATERIAL, IF ENCOUNTERED, IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER AND DISPOSED OF IN APPROVED LANDFILL. CONTACT LOCAL EMERGENCY OFFICIALS REPRESENTATIVES IN CASE OF ANY SPILLS OR CONTAMINATION OF A CHEMICAL NATURE (CALL FDEP 407-894-7555) PRIOR TO ANY OTHER ACTION.
6. INSPECTIONS: CONTRACTOR TO INSPECT CONSTRUCTION SITE FOR EROSION PROBLEMS ONCE A WEEK AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. CONTRACTOR TO PROVIDE AND MONITOR A RAIN GAUGE ON SITE AND RECORD DAILY RAINFALL AMOUNTS.
7. PERMANENT STORMWATER MANAGEMENT CONTROLS: RETENTION AND DETENTION/EXFILTRATION SYSTEMS, STORMWATER SEWER SYSTEM, PLUS STORMWATER CONTROL STRUCTURE IS TO PREVENT TRASH FROM GOING TO CITY'S DRAINAGE SYSTEM.
8. DEWATERING: IN GENERAL, WATER FROM CONTAMINATED AREAS ARE TO BE DISCHARGED TO SANITARY SEWER SYSTEM AND WATER FROM NON-CONTAMINATED AREAS ARE TO BE DISCHARGED INTO STORM SEWER SYSTEM. THE DEWATERING OPERATION SHALL COMPLY WITH THE REQUIREMENTS OF F.D.E.P., THE NPDES PERMIT, AND THE GEOTECHNICAL REPORT.
9. CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE THE AREA OF DISTURBANCE AND WILL BE RESPONSIBLE FOR ALL DAMAGES. ALL EXISTING SODDED AREAS DISTURBED DURING THE CONSTRUCTION SHALL BE REPLACED WITH THE SAME TYPE OF SOD IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS WITHIN 7 DAYS OF FINAL GRADING.
10. SURFACE DRAINAGE SHALL BE DIVERTED FROM EXCAVATIONS AND STOCKPILE AREAS SUCH THAT PROPER SITE CONDITIONS ARE MAINTAINED AND EROSION DUE TO RAIN RUN-OFF OR SEEPAGE IS PREVENTED OR MINIMIZED.
11. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS. EROSION CONTROL AT ALL INLET DRAINAGE STRUCTURES DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK.
12. NO FERTILIZERS, HERBICIDES, OR PESTICIDES ARE TO BE USED ON-SITE WITHOUT PRIOR APPROVAL OF CITY OR COUNTY STAFF.
13. AFTER ALL CONSTRUCTION IS COMPLETE, ALL STRUCTURES AND STORM SEWER PIPES IN THE SYSTEM SHALL BE CLEANED AND TEMPORARY PLUGS IN STRUCTURES SHALL BE REMOVED.
14. ADDITIONAL NOTES: IF NECESSARY, CONTRACTOR SHALL INSTALL TURBIDITY BARRIER, AND USE STREET SWEEPER TO CLEAN ANY OFF-SITE TRACKING OF SOIL. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS AND TO COMPLY WITH THIS PLAN.
15. WASTE DISPOSAL: ALL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTE SHALL BE PROPERLY CONTROLLED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND FEDERAL REGULATIONS. THERE SHOULD BE NO DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO SURFACE WATERS OF THE STATE OR AN MS4.



INLET PROTECTION
SCALE: NTS

GENERAL CONSTRUCTION NOTES:

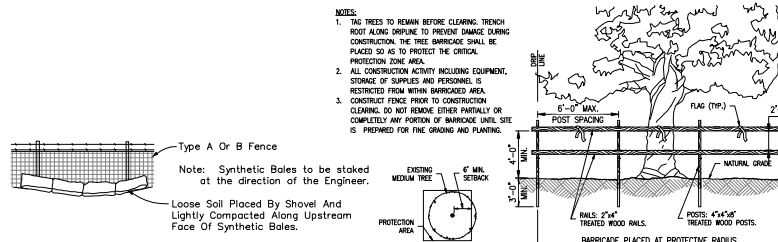
1. ALL CONSTRUCTION SHALL CONFORM TO THESE DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL PERFORM A "SUNSHINE ONE-CALL" PRIOR TO EXCAVATIONS.
3. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO CONSTRUCTION AND MAINTAIN COPIES AT THE JOBSITE.
4. THE LOCATION OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS IS APPROXIMATE AND HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES, FIELD DETERMINE THE EXACT LOCATION OF UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY IF CONFLICTS EXIST. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING UNDERGROUND UTILITY AND ALL EXISTING UTILITIES SHALL BE PROTECTED.
5. THE CONTRACTOR SHALL COORDINATE ALL TREE REMOVALS REQUIRED BY CONSTRUCTION WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL STRIVE TO PROTECT AS MANY TREES AS POSSIBLE DURING CONSTRUCTION OPERATIONS. COORDINATE EFFORTS WITH AREA DEVELOPMENT PLANS.
6. THE CONTRACTOR IS ADVISED TO BRING ANY LAYOUT DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
7. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST M.U.T.C.D. AND F.D.O.T. SPECIFICATIONS.
8. COORDINATE WITH LOCAL EMERGENCY SERVICES AND PROVIDE EMERGENCY ACCESS CORRIDOR THROUGHOUT CONSTRUCTION.
9. CONTACT LOCAL ENVIRONMENTAL COMPLIANCE OFFICIAL FOR APPROVAL OF EROSION CONTROL MEASURES 24 HOURS PRIOR TO BEGINNING GRADE WORK.
10. MATERIALS INTERFERING WITH CONSTRUCTION SHALL BE DISPOSED OF AS DIRECTED BY THE OWNER.
11. ALL EXCESS DIRT, CLEARING DEBRIS, UNSUITABLE MATERIALS AND EXISTING ROADWAY MATERIAL RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE HAULED OFF IN A LEGAL MANNER.
12. THE CONTRACTOR SHALL PROVIDE A LEVEL GROUND SURFACE AREA ACCESSIBLE TO THE HAUL ROADS AND CONSTRUCTION ENTRANCE FOR MATERIAL LAY-DOWN AND CONSTRUCTION STAGING. THE AREA SHALL BE DELINEATED WITH SAFETY FENCING AND SILT FENCE SHALL BE INSTALLED ALONG THE DOWNHILL BOUNDARY.
13. EXISTING TOPOGRAPHY AND ROADWAY DATA SHOWN ARE BASED UPON TOPOGRAPHIC SURVEYS BY:
On the Mark Surveying, LLC
143 Meadow Boulevard
Sanford, Florida 32771
Attn: Corey A. Hopkins, PSM
Ph: (321) 626-6376
14. CONTRACTOR SHALL CONFINE HIS OFF-SITE ACTIVITIES TO LIMITS OF CONSTRUCTION AS DEPICTED ON THE DEMOLITION PLAN (PROPOSED BY GAI CONSULTANTS.).
15. ANY PUBLIC LAND CORNER, WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE WITHOUT DELAY.
16. SOILS DATA GEOTECHNICAL REPORT PREPARED BY ANDREYEV ENGINEERING.
17. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL THE REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
18. ALL REFERENCES TO PROPOSED CONSTRUCTION INDICATES CONSTRUCTION INCLUDED IN THIS CONTRACT.



SILT FENCE APPLICATIONS
SCALE: NTS

EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR MUST IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF THE WATER QUALITY CRITERIA AND STANDARDS IN CHAPTERS 62-4, 62-302, F.A.C. ALL EROSION/SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS IN SECTION 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION 1988). AS WELL AS THE CITY OF INVERNESS WATER QUALITY CODE AND THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK. UNLESS A PROJECT-SPECIFIC EROSION AND SEDIMENT CONTROL PLAN IS APPROVED BY THE WATER MANAGEMENT DISTRICT IN WHICH CASE THE PRACTICES MUST BE IN ACCORDANCE WITH THE PLAN. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, THE CONTRACTOR MUST IMPLEMENT THE NECESSARY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES.
2. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
3. THE LOCATION AND TYPE OF THE EROSION CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE PROVIDED FOR GENERAL GUIDANCE TO THE CONTRACTOR. THE METHODS AND SEQUENCING OF CONSTRUCTION EMPLOYED BY THE CONTRACTOR MAY REQUIRE MORE OR LESS EROSION CONTROL MEASURES THAN THAT DEPICTED TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION ACTIVITIES.
4. EROSION/TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENT OR SUSPENDED SOLIDS TO ADJACENT PROPERTIES, JURISDICTIONAL WETLANDS AND/OR RECEIVING WATER BODIES EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST REMAIN IN PLACE AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED. THEREAFTER THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF THE BARRIERS. THE CONTRACTOR SHALL MAINTAIN THE EROSION/TURBIDITY CONTROL BARRIERS DAILY. THE CONTRACTOR IS TOTALLY RESPONSIBLE FOR PROVIDING THE NECESSARY EROSION/TURBIDITY CONTROL FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY PENALTIES IMPOSED BY THE PERMITTING AGENCIES FOR ANY EROSION, SHOALING, OR WATER QUALITY PROBLEMS RESULTANT TO CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION, SEDIMENTATION, SHOALING OR WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL, A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP, 1988) AND/OR ACCORDING TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS FOR EROSION CONTROL APPLICATIONS AND ACCORDING TO THE LOCAL WATER QUALITY CODE AND THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTORS HANDBOOK.
6. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO INSURE THAT SEDIMENTATION AND/OR TURBIDITY PROBLEMS ARE NOT CREATED IN THE RECEIVING WATER.
7. PRIOR TO BEGINNING THE CLEARING AND GRUBBING OF THE SITE, SYNTHETIC BALES SHALL BE STAKED TO THE GROUND ALONG THE PROPERTY LINE AT LOW AREAS IN ADDITION TO THE PERIMETER SILT FENCE TO PREVENT STORMWATER FROM WASHING ERODED SOIL FROM THE SITE.
8. THE SITE SHALL BE GRADED SUCH THAT ALL STORMWATER WILL BE DIRECTED INTO THE ON-SITE STORMWATER SYSTEM. SYNTHETIC BALES SHALL BE STAKED IN LOCATIONS WHERE WATER ENTERS THE SYSTEM TO FILTER OUT THE ERODED SOILS AND CONSTRUCTION FINES. CONTRACTOR SHALL MAKE PROVISIONS TO AVOID TRACKING DIRT AND CONSTRUCTION DEBRIS TO THE ROADWAY VIA TRUCK AND EQUIPMENT TIRES.
9. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF INVERNESS AND FDOT STANDARDS AND SPECIFICATIONS, AND THE CONTRACT DRAWINGS.
10. CONTRACTOR SHALL REPLACE CLOGGED SECTIONS OF SILT FENCES AND PERFORATED PIPE WITH FABRIC SOCK AS NECESSARY TO MAINTAIN WATER PASSAGE.
11. CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL DURING INSTALLATION OF NEW CURBING AND DRIVEWAYS AS APPROVED BY THE ENGINEER.
12. CONTRACTOR SHALL TAKE CARE TO KEEP EXPOSED AREAS TO A MINIMUM POSSIBLE TIME DURING CONSTRUCTION.
13. ON-SITE CONTROL MEASURES SHALL BE APPLIED TO REDUCE EROSION AS SHOWN ON THE PLANS, DETAIL SHEETS AND IN ACCORDANCE WITH FDOT, FDEP AND THE CITY OF INVERNESS REGULATIONS FOR EROSION CONTROL MEASURES. STOCKPILING AND STORAGE OF MATERIALS SHOULD NOT BE LOCATED IN A MANNER TO IMPEDE FLOW OR CAUSE MATERIALS TO BE ERODED BY STORMWATER RUNOFF.
14. ALL TEMPORARY SEDIMENTATION CONTROL STRUCTURES AND MEASURES TO BE USED DURING CONSTRUCTION SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED IN AN EFFECTIVE CONDITION UNTIL SUCH TIME AS THE COMPLETION OF THE PERMANENT SYSTEM OR OTHER EROSION CONTROL MEASURES CAN ASSURE ADEQUATE EROSION AND SEDIMENT CONTROL.



SYNTHETIC BALES BACKED BY FENCE
SCALE: NTS

ENGINEER CERTIFICATION:

I CERTIFY THAT I PREPARED THE SWPPP FOR THE REFERENCED SITE. TO THE BEST OF MY KNOWLEDGE, THE SWPPP MEETS THE INTENT AND REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. FLR_____, AND IS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS WHICH GOVERN THE DISCHARGES FROM CONSTRUCTION SITES.

SIGNATURE _____ DATE _____

NAME AND TITLE _____

GAI CONSULTANTS, INC.
COMPANY

618 E. SOUTH STREET SUITE 700, ORLANDO, FLORIDA 32801
ADDRESS

CONTRACTOR CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH THE INDUSTRIAL ACTVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION."

SIGNATURE _____ DATE _____

PROJECT MANAGER

NAME AND TITLE _____

COMPANY _____

ADDRESS (CONTRACTING FIRM) _____

ADDRESS (CONSTRUCTION SITE) _____

TELEPHONE: _____ AREA CODE _____ NUMBER _____

STORMWATER POLLUTION PREVENTION PLAN NOTES:

LOCATION: THE 42.17 ACRE PROJECT SITE IS LOCATED IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA

LIMITS OF CONSTRUCTION: TOTAL OF 20.77 ACRES WILL BE DISTURBED DURING CONSTRUCTION.

CONSTRUCTION ACTIVITIES: CLEARING AND GRUBBING OF EXISTING SITE; GRADING OPERATIONS.

SOIL TYPES: 21-LAKE FINE SAND.

GENERAL CONSTRUCTION SEQUENCE:

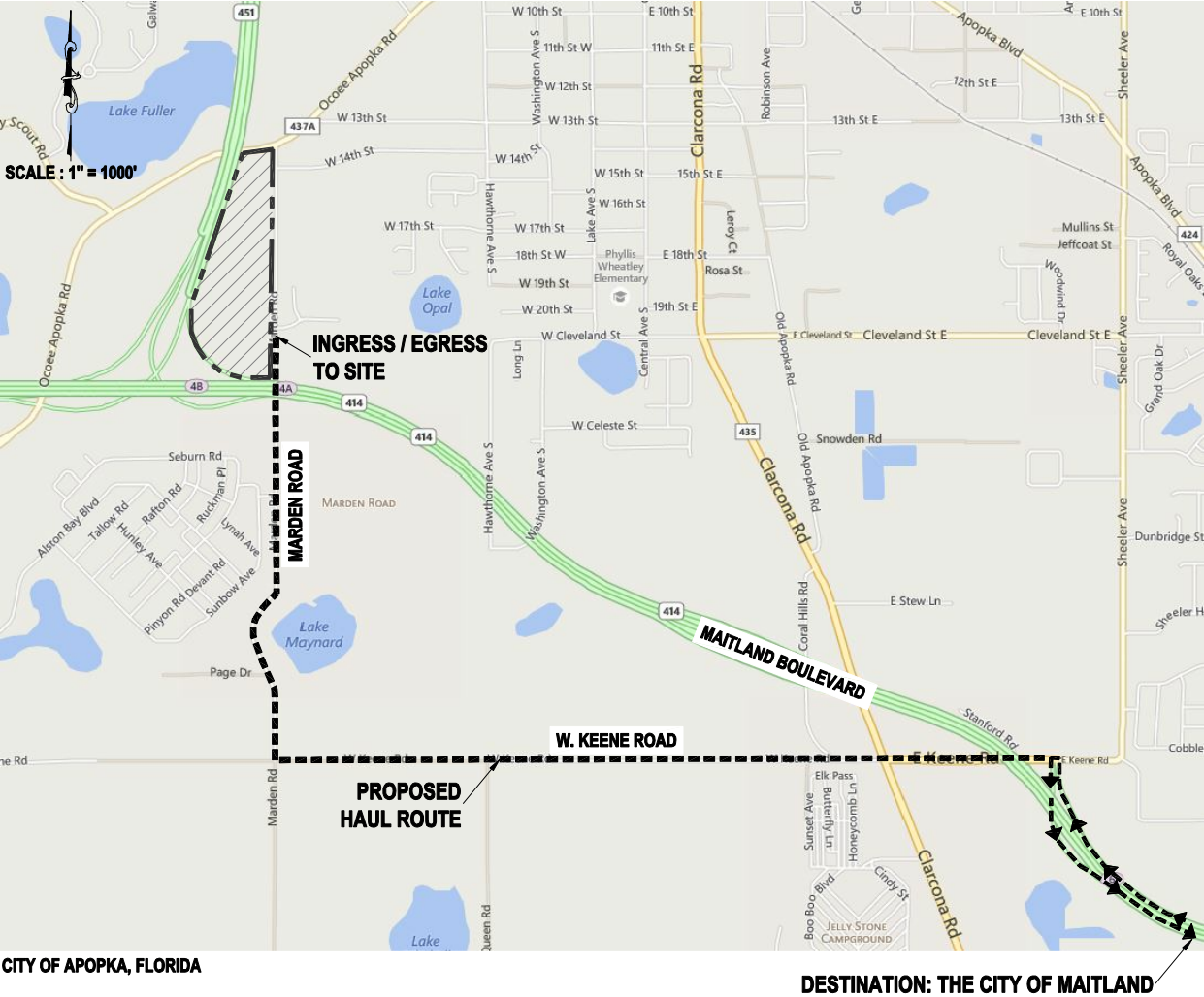
1. INSTALL SILT FENCE AROUND PERIMETER OF GRADING OPERATIONS. INSTALL SILT FENCE. INSTALL TEMP INLET PROTECTION.
2. GENERAL SITE CLEARING AND GRUBBING.
3. ROUGH GRADE SITE.
4. HYDROSEED AREAS OF CLEARING/CUTTING.
5. REMOVE TEMP. PROTECTION SYSTEMS.

STORMWATER DISCHARGE: STORMWATER WILL INFILTRATE AND REMAIN ON SITE.

ISSUED FOR PLANNING & ZONING		REVISED FOR CITY COMMENTS		REVISED FOR CITY COMMENTS		REVISED FOR CITY COMMENTS		DESCRIPTION	
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LOCATION MAP



ISSUED FOR PLANNING & ZONING	
4	4/21/15
3	4/20/15
2	3/20/15
1	3/19/15
NO.	

SCALE:	1" = 1000'
DATE:	03-18-2015
DRAWN:	AP/MJC
CHECKED:	ASC
APPROVED:	ASC

HAUL ROUTE PLAN	MARDEN RIDGE APARTMENTS - PHASE 1 MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN APOPKA, FLORIDA

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ANTHONY S. CALL, P.E.
No. 67370



gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEET
C3.00

REVISIONS

Backup material for agenda item:

2. FINAL DEVELOPMENT PLAN/PLAT – Rock Springs Estates, owned by Rock Springs Estates; applicant is Pulte Group, c/o Doug Hoffman, P.E.; engineering firm is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E., located south of West Lester Road, east of Vick Road. (Parcel ID Nos. 3-20-28-0000-00-015, 33-20-28-0000-00-118, 33-20-28-0000-00-003)



CITY OF APOPKA PLANNING COMMISSION

<u> X </u> PUBLIC HEARING	DATE: May 12, 2015
<u> </u> SPECIAL REPORTS	FROM: Community Development
<u> </u> PLAT APPROVAL	EXHIBITS: Vicinity Map
<u> </u> OTHER:	Site Plan
	Landscape Plans

**SUBJECT: FINAL DEVELOPMENT PLAN/PLAT - ROCK SPRINGS ESTATES,
LOCATED SOUTH OF WEST LESTER ROAD, EAST OF VICK ROAD**

**Request: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT
PLAN/PLAT FOR ROCK SPRINGS ESTATES, LOCATED SOUTH OF
WEST LESTER ROAD, EAST OF VICK ROAD.**

SUMMARY

OWNER: Rock Springs Estates, LLC

APPLICANT: Pulte Group, c/o Doug Hoffman, P.E.

PROJECT ENGINEER: Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.

LOCATION: South of West Lester Road, east of Vick Road.

EXISTING USE: One (1) single family residence/vacant land

FUTURE LAND USE: Residential Low Suburban (Max. 3.5 du/ac)

ZONING: R-1

PROPOSED
DEVELOPMENT: Single-family Residential Subdivision (60 Lots; min. 8,000 sq. ft. lot area)

TRACT SIZE: 25.84 +/- acres

DISTRIBUTION:

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director

Finance Director
HR Director
IT Director
Police Chief

Public Ser. Director
City Clerk
Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Res. Low Suburban (0 -3.5 du/ac)	R-1/ZIP	Vacant Land/SFR
East (City)	Res. Low	R-2	SFR
South (County)	Low Density Res. (Max. 4 du/ac)	A-2	World of Life Church of Apopka
South (City)	Residential Low (0-5 du/ac)	R-3	Wekiva Crest Subdivision
West (City)	Residential Low (0-5.0 du/ac)	R-3	Cambridge Commons Subdivision

Project Use: The Rock Springs Estates Final Development Plan/Plat proposes the development of 60 single family residential lots and a 0.42 acre park. The minimum typical lot width is 75 feet with a minimum lot size of 8,000 square feet. The proposed minimum living area for the subdivision is 1,500 square feet as set forth in Chapter 2 of the Land Development Code.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

Access: Ingress/egress for the development will be via full access from West Lester Road. A second road connection is proposed at the southeast corner of the project. Extension of this second road may occur at the time the abutting eastern parcel is developed for residential use. A multi-use trail currently runs along the south side of Lester Road. The landscape buffer tract along Lester Road has taken into consideration the presence of this multi-use trail.

Stormwater: The two (2) retention ponds have been designed to meet the City's Land Development Code requirements.

Recreation: The developer is providing a 0.42 acre (18,200 sq. ft.) tot lot and recreation area. At the time of the final development plan application, details of active and passive recreation equipment and facilities will be submitted for the City's review. The park will be owned and maintained by the homeowners association.

Buffer/Tree Program: Buffers are provided consistent with the Land Development. The City's Land Development Code and Tree Bank policy authorize the City Council to require the applicant to make a contribution to the City's Tree Bank to mitigate the remaining tree inches for the residential section. The Applicant has committed to pay \$10.00 per deficient tree inch (totaling \$580.00) into the Tree Bank prior to issuance of the initial Arbor/Clearing permit. The landscaping median at the entrance to Rock Springs Estates will be placed into a separate tract that will be owned and maintained by the homeowners association.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	1,042
Total number of specimen trees:	8
Total inches removed:	602
Total inches retained:	440
Total inches replaced:	544
Total Inches (Post Development):	984

SCHOOL CAPACITY REPORT: Affected Schools: Rock Springs Elementary, Apopka Memorial Middle and Apopka High School. No development activity can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

May 12, 2015 - Planning Commission, 5:01 p.m.

May 20, 2015 - City Council, 7:00 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the ROCK SPRINGS ESTATES FINAL DEVELOPMENT PLAN/PLAT, subject to the findings of the staff report.

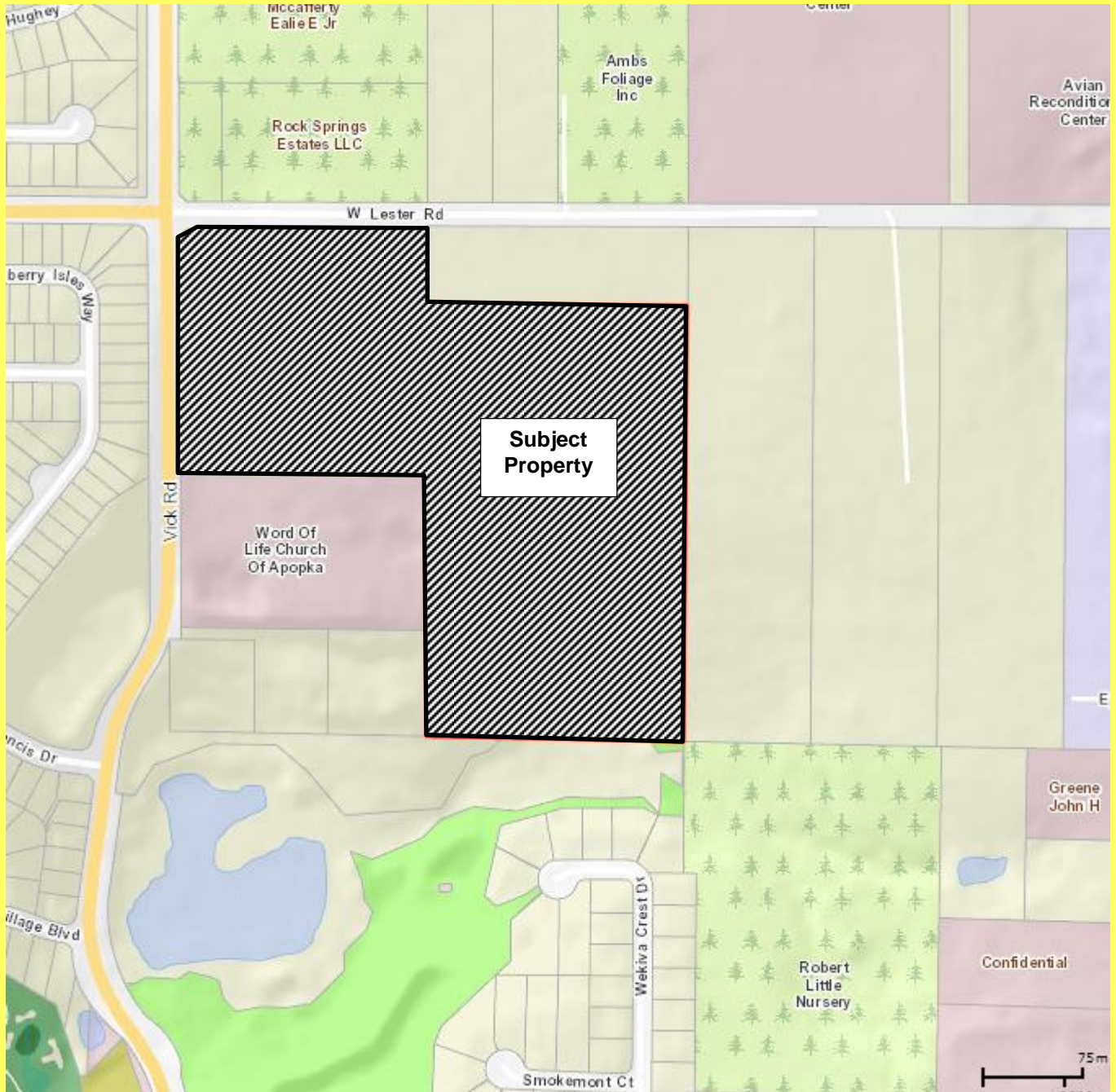
Planning Commission Recommendation: Recommend approval of the ROCK SPRINGS ESTATES FINAL DEVELOPMENT PLAN/PLAT, subject to the findings of the staff report.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application:	Rock Springs Estate Subdivision Final Development Plan/Plat
Owner:	Rock Springs Estates, LLC
Applicant:	Pulte Group, c/o Doug Hoffman, P.E.
Project Eng.:	Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E.
Parcel ID No's:	33-20-28-0000-00-015, 33-20-28-0000-00-118, 33-20-28-0000-00-003
Total Acres:	25.84 +/-

VICINITY MAP

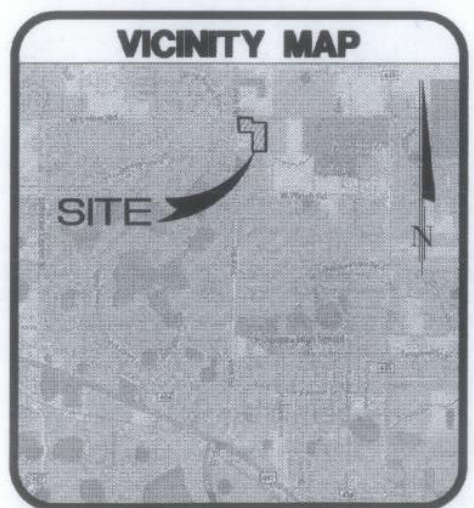
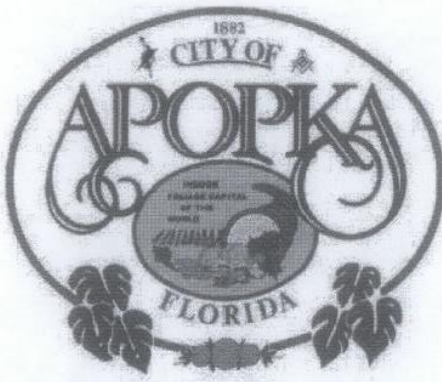
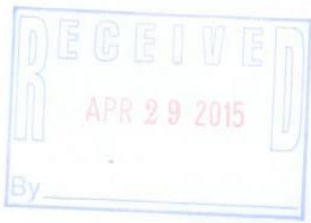


FINAL DEVELOPMENT PLANS

ROCK SPRINGS ESTATES

CITY OF APOPKA, FLORIDA

PREPARED FOR
PULTE GROUP
4901 VINELAND ROAD, 5th FLOOR
ORLANDO, FLORIDA 32811
407.509.4014



SECTION 33, TOWNSHIP 20 SOUTH, RANGE 28 EAST
PROPERTY APPRAISER PARCEL ID # 33-20-28-0000-00-003 &
33-20-28-0000-00-015

LEGAL DESCRIPTION

THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4, LESS THE NORTH 230 FEET, IN SECTION 33, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
AND:
THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT-OF-WAYS ALONG THE WEST AND NORTH.
CONTAINING 25.840 ACRES MORE OR LESS AND BEING SUBJECT TO ANY RIGHTS-OF-WAY, RESTRICTIONS AND EASEMENTS OF RECORD.

ENGINEER/SURVEYOR:
DONALD W. MCINTOSH ASSOCIATES, INC.
2200 PARK AVENUE NORTH
WINTER PARK, FLORIDA 32789
PH: 407.644.4068
CONTACT PERSON: JOHN T. TOWNSEND, PE

DEVELOPER/APPLICANT:
PULTE GROUP
4901 VINELAND ROAD, 5th FLOOR
ORLANDO, FL 32811
PH: 407.509.4014
CONTACT PERSON: DOUG HOFFMAN

OWNER:
ROCK SPRINGS ESTATES, LLC.
P.O. BOX 1508
WINTER PARK, FLORIDA 32790

REVISION APRIL 29, 2015
APRIL 1, 2015

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068

THE ROAD DESIGN HAS BEEN DONE IN REASONABLE CONFORMANCE WITH THE FDOT "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS".

CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE CITY OF APOPKA REGULATIONS AND SPECIFICATIONS.

ALL ROADS AND/OR STREETS ARE PUBLIC OWNED AND MAINTAINED BY THE CITY OF APOPKA.

SHEET INDEX

C001	COVER SHEET
C002	SITE DATA, NOTES AND LEGEND
C003	NOTES AND SPECIFICATIONS
C021	AERIAL
C031	EXISTING CONDITIONS PLAN
C101	EROSION, SEDIMENTATION CONTROL AND DEMOLITION PLAN
C102	EROSION CONTROL DETAILS
C201	MASTER SUBDIVISION PLAN
C301	GRADING AND DRAINAGE PLAN WEST SIDE
C302	GRADING AND DRAINAGE PLAN EAST SIDE
C331	SMA-1 DETAILS, SECTION AND CONTROL STRUCTURE
C332	SMA-2 DETAILS, SECTION AND CONTROL STRUCTURE
C345	PAVEMENT & CROSS SECTIONS, AND DETAILS
C351	INTERSECTION GRADING, SIGNAGE, STRIPING AND RAMP LOCATIONS
C401	PLAN & PROFILE
C402	PLAN & PROFILE
C403	PLAN & PROFILE
C404	PLAN & PROFILE
C405	PLAN & PROFILE
C501	UTILITY PLAN WEST SIDE
C502	UTILITY PLAN EAST SIDE
C531	UTILITY DETAILS
C532	UTILITY DETAILS
C533	UTILITY DETAILS
C534	UTILITY DETAILS
C651	LIFT STATION DETAILS
C652	LIFT STATION DETAILS
C751	DRAINAGE DETAILS
C752	DRAINAGE DETAILS
C753	DRAINAGE DETAILS
C754	DRAINAGE DETAILS
C755	DRAINAGE DETAILS
TR.01	TREE REMOVAL PERMIT PLAN
H.01-H.03	HARDSCAPE & LAYOUT
HD.01-HD.02	BRICK WALL PLANS
L.01-L.03	LANDSCAPE PLAN
LD.01-LD.03	PLANT LIST, NOTES, CALCULATIONS & DETAILS
IR.01-IR.04	IRRIGATION PLAN

DONALD W. MCINTOSH ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
AUTHORIZATION NO. 68

JOHN T. TOWNSEND
FLORIDA P.E. NO. 52127
DATE: 4/29/2015

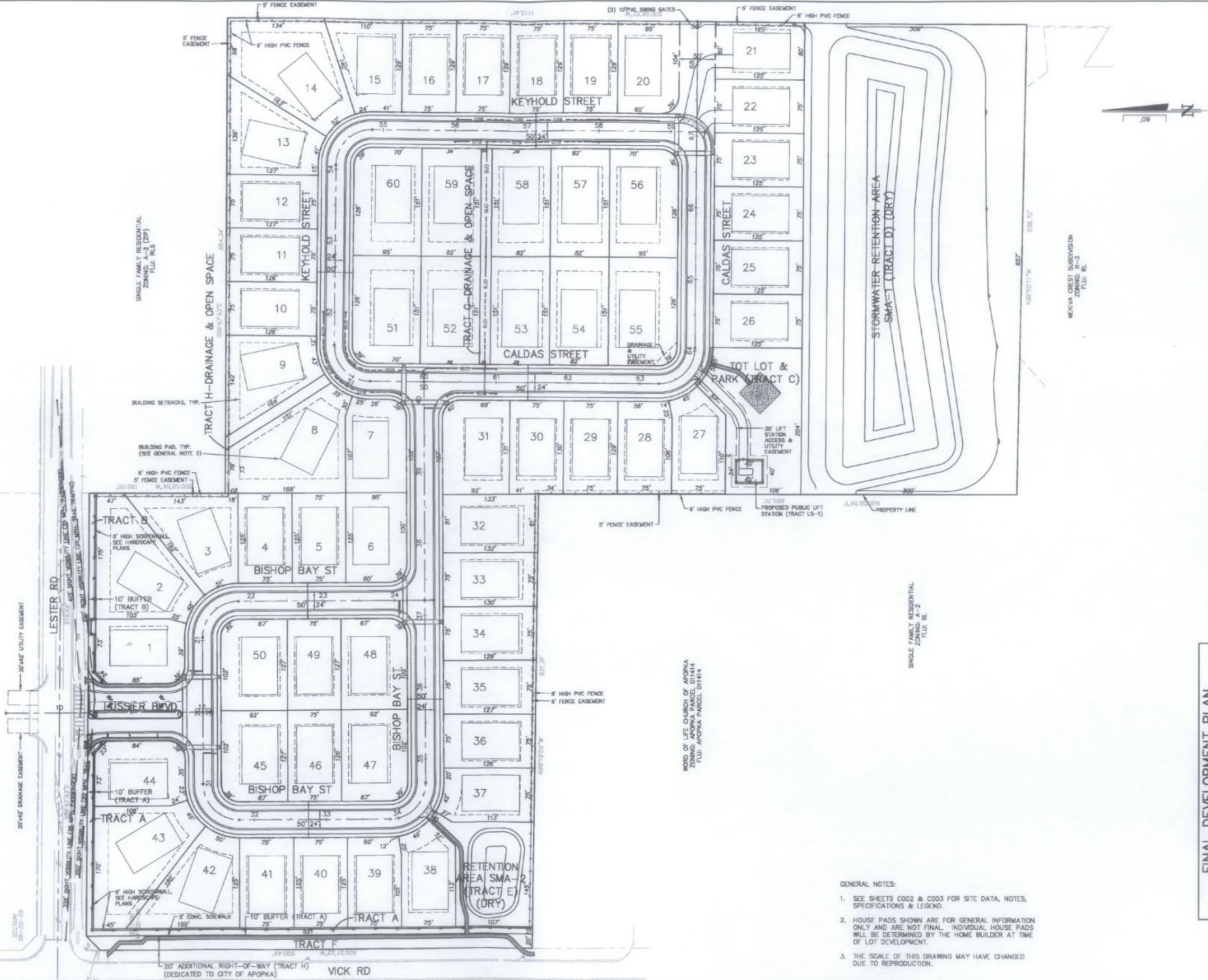
ROCK SPRINGS ESTATES - FDP-14200 - 4/1/15 - REVISION APRIL 29, 2015

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VACANT LAND
ZONING: R-1
FLU: RLS

SINGLE FAMILY RESIDENT
ZONING: A-1
FLU: RLS

AMBS FOLGAGE INC.
(AGRICULTURAL BUSINESS)
ZONING: A-1
FLU: RLS



GENERAL NOTES:

1. SEE SHEETS C002 & C003 FOR SITE DATA, NOTES, SPECIFICATIONS & LEGEND.
2. HOUSE PADS SHOWN ARE FOR GENERAL INFORMATION ONLY AND ARE NOT FINAL. INDIVIDUAL HOUSE PADS WILL BE DETERMINED BY THE HOME BUILDER AT TIME OF LOT DEVELOPMENT.
3. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

FINAL DEVELOPMENT PLAN

ROCK SPRINGS ESTATES
CITY OF APOPKA, FLORIDA
MASTER SUBDIVISION PLAN

DRAWING
14200-FDP-MSUP
SHEET
C201
8 OF 32

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4088

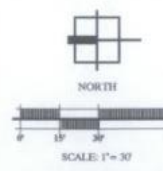
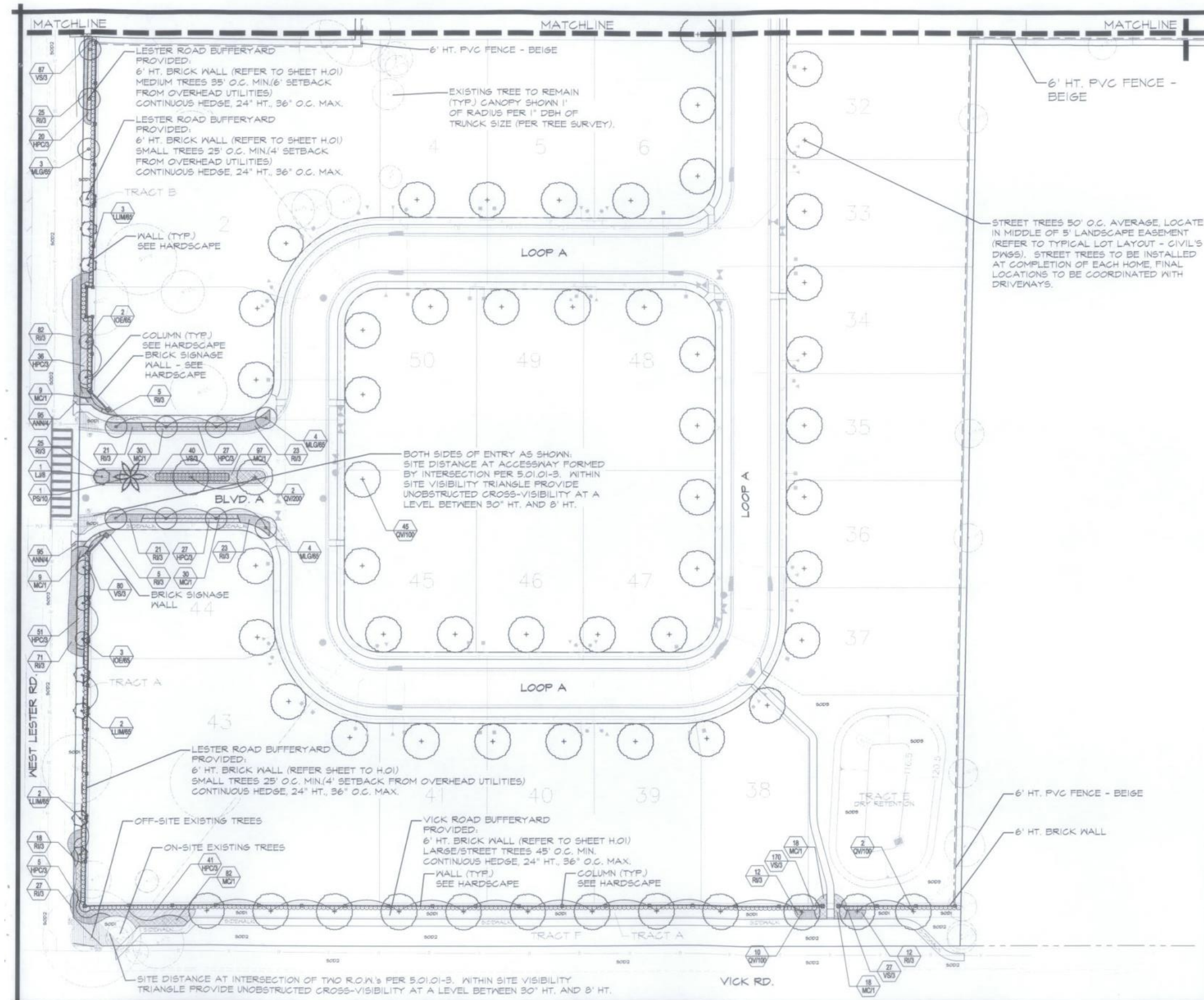
DONALD W. MCINTOSH
ASSOCIATES, INC.
CERTIFICATE OF
AUTHORIZATION NO. 08

JOHN T. TOWNSEND
FLORIDA P.E. NO. 52127
DATE: 4/29/2015

NO.	DATE	REVISIONS
1	4/24/15	ADDED UNDERDRAINS, REVISED FOR CITY COMMENTS

DRAWN BY	DESIGNED BY	CHECKED BY	DATE	SCALE	JOB NUMBER
MAD	MAD	JTT	4/1/15	1"=60'	14200

PLANNERS
SURVEYORS
407.844.4088

[illegible]

ROCK SPRINGS ESTATES

CITY OF APOPKA, FLORIDA
FINAL
DEVELOPMENT PLAN

PREPARED FOR:
PULTE GROUP

LANDSCAPE PLAN

Landscape Architect
in charge:

Landscape Architect
in charge:

Registration # LA0001343
Certificate of
Authorization LC 26000435
and Resource Design Group

DATE: 04-01-2015
PROJECT NO: PUL015-03.01
DRAWN BY: SAM
DESIGNED BY: BHR
CHECKED BY: BHR

SHEET NO.

L.01



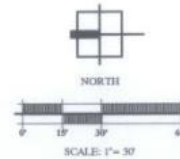
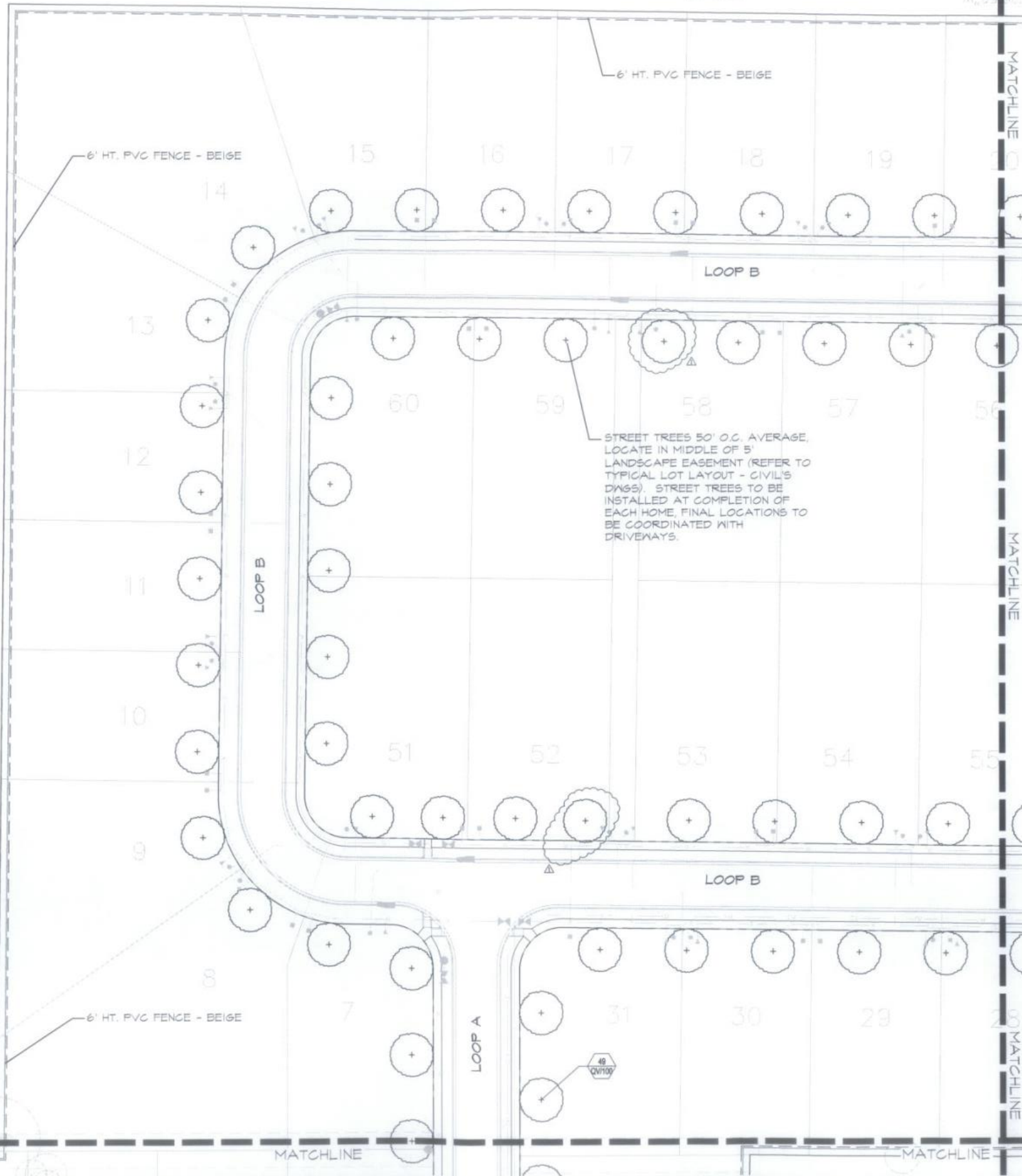
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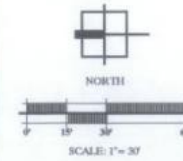
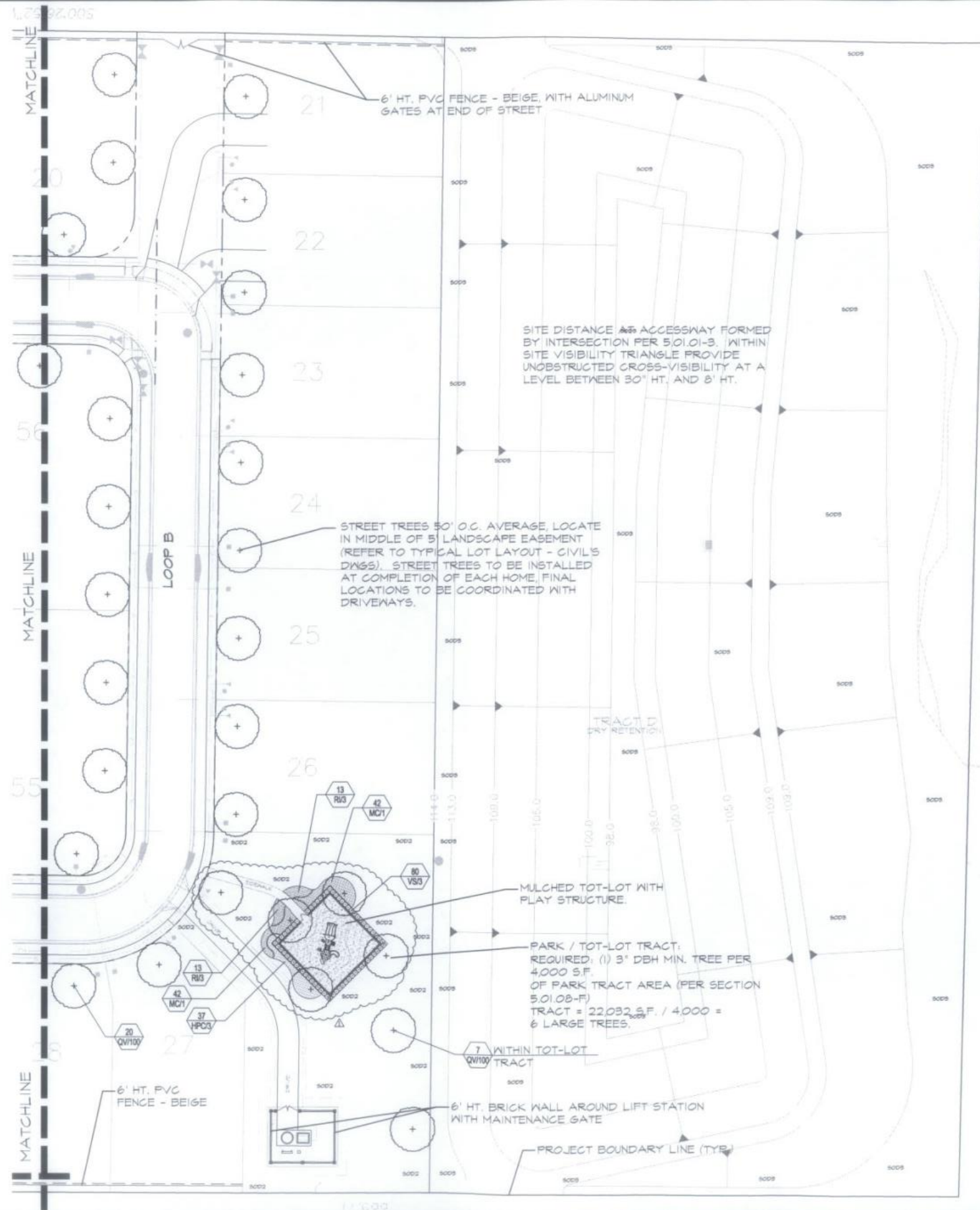
NO.	DATE	DESCRIPTION	BY	CHKD.
1	04/01/2015	REVISIONS PER CITY OF APOPKA COMMENTS	SAM	BHR
2				
3				
4				
5				
6				
7				
8				
9				
10				

ROCK SPRINGS ESTATES
CITY OF APOPKA, FLORIDA
FINAL DEVELOPMENT PLAN
PREPARED FOR:
PULTE GROUP
LANDSCAPE PLAN

Landscape Architect
In Charge:
Avery H. Rymor
Registration # LA0001343
Certification # 26000435
Land Resource Design Group

DATE: 04-01-2015
PROJECT NO.: PUL015-03.01
DRAWN BY: SAM
DESIGNED BY: BHR
CHECKED BY: BHR

SHEET NO.
L.02



NO.	DATE	DESCRIPTION	BY	CHK
1	04/01/15	REVISIONS PER CITY OF APOPKA COMMENTS	SAM	BHR

ROCK SPRINGS ESTATES

CITY OF APOPKA, FLORIDA
FINAL DEVELOPMENT PLAN
 PREPARED FOR:
 PULTE GROUP

Landscape Architect
 In Charge:
 Barry H. Rymor
 Registration # LA0001343
 Certificate of
 Authorization LC 26000435
 LRD Resource Design Group

DATE: 04-01-2015
 PROJECT NO.: PUL015-03.01
 DRAWN BY: SAM
 DESIGNED BY: BHR
 CHECKED BY: BHR

SHEET NO.
L.03